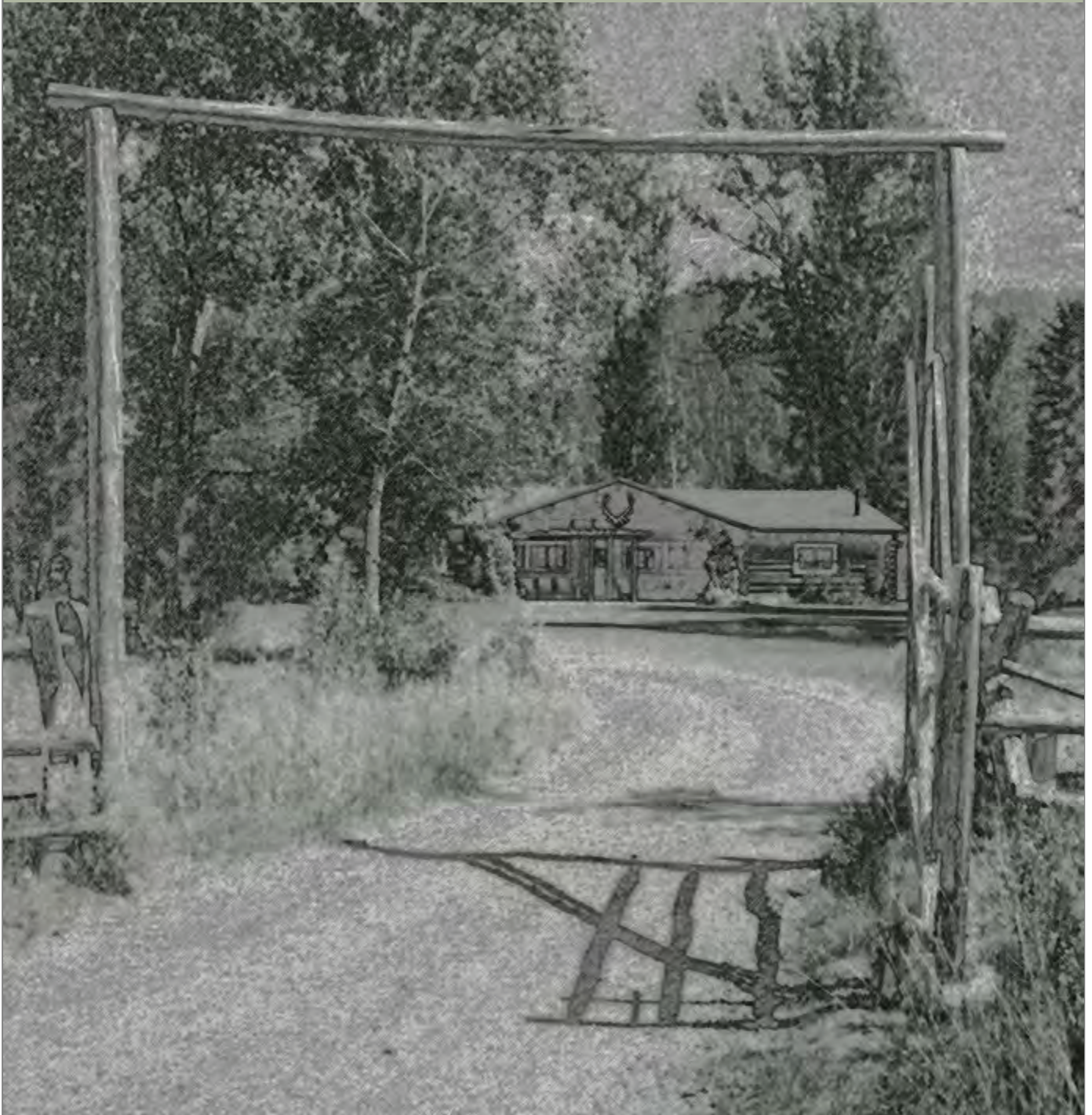


4 LAZY F RANCH

Historic Structures Report

September, 2008



Grand Teton National Park
National Park Service
P.O. Box 170
Moose, Wyoming 83012

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APPENDIX A – National Register of Historic Places Nomination

EXECUTIVE SUMMARY

The 4 Lazy F Ranch¹ is located on the west bank of the Snake River in Grand Teton National Park, Teton County, Wyoming. Established by William and Margaretta Frew in 1927, the ranch infrastructure shares many of the characteristics of typical Rocky Mountain dude ranches, established during the first three decades of the 1900s. Although the Frew's originally developed the ranch as a family retreat, after inheriting the ranch in 1949, their daughter Emily, and her husband Henry Oliver Jr., began accepting paying guests in 1950. The Oliver's sons, Henry "Harry" Oliver III and Charles "Bucky" Oliver helped with ranch operations. In 1967, Emily Oliver sold the ranch to the federal government, reserving to herself a life estate. In 2006, Mrs. Oliver voluntarily terminated her life estate, and the park assumed management of the property.

The ranch contains two distinct building clusters, referred to in this report as the Lodge cluster (containing the main Lodge, sleeping cabins for family members and guests, and a few ancillary buildings) and the caretaker's cluster (containing the caretaker's house and agricultural outbuildings including a barn, tack shed, and chicken coop). The Lodge cluster occupies a gravel terrace above the west bank of the Snake River, while the caretaker's cluster lies farther back from the stream bank, near an abandoned river channel. The two clusters are located roughly an eighth of a mile apart—linked by a dirt two-track road.

Parts IA and IB of this report are based upon historical research conducted at the Jackson Hole Museum and Archives (JHHMA) and the Teton County Courthouse, both in Jackson, Wyoming, and upon interviews conducted with Frew family members, including Emily and Henry Oliver's son, "Harry" Oliver, and their granddaughter, Emily Oliver Few. This oral history information is critical given the lack of written documentary sources available for this property, which was developed through private rather than public means. Janene Caywood, CRCS, conducted the historical research and prepared the narrative history sections of the document.

Historical Architect, James R. McDonald and Dennis Johnson, AIT, of A&E Architects, conducted the condition assessment in the spring of 2007.² Note that the condition assessment did not include destructive investigation, asbestos testing, or a paint analysis. The architectural analysis identifies the current condition of the character-defining features for each building included in the study.

The recommendations contained in Part 2, Treatment and Use, include specific actions designed to preserve the historic character-defining features of the individual buildings and the site. A charette was held in the Park to determine a potential use for the structures but even though many uses were discussed, at this time no formal use was determined. In general, the recommendations are to preserve and maintain the original architectural features of the interior and exterior of each building. It is recommended that whatever use is determined modifications be limited to those associated with the updating of utilities, with accessibility, and with health and fire safety issues.

¹ Note that the ranch is referred to in written historical texts as the Four Lazy F.

² The condition assessments are based upon the definitions in the List of Classified Structures (LCS) which are as follows:
Good: The structure and significant features are intact, structurally sound, and performing their intended purpose. The structure and significant features need no repair or rehabilitation, but only routine or preventative maintenance.

Fair: A structure is in fair condition if there are early signs of wear, failure, or deterioration though the structure and its features are generally structurally sound and performing their intended purpose; or, there is failure of a significant feature of the structure.

Poor: A structure is in poor condition if any of the following conditions is present: a) the significant features are no longer performing their intended purpose; or, b) significant features are missing; or, c) deterioration or damage affects more than 25 percent of the structure; or, d) the structure or significant features show signs of imminent failure or breakdown.

Administrative Data

Common Name: 4 Lazy F Ranch

Historic Name: Four Lazy F Ranch

Smithsonian Number: None assigned

Historic Structure/List of Classified Structures (LCS) Numbers:

Preferred Building/Structure Name	Historic Structure No.	List of Classified Structures No.
4 Lazy F Dude Ranch Lodge	HS-0399	51706
4 Lazy F Dude Ranch Cabin (a.k.a. River Cabin)	HS-0400	51707
4 Lazy F Dude Ranch Curing House	HS-0400A	51708
4 Lazy F Dude Ranch Cabin (a.k.a. Nurse's Cabin)	HS-0401	51709
4 Lazy F Dude Ranch Cabin (a.k.a. George's Cabin)	HS-0404	51710
4 Lazy F Dude Ranch Smokehouse	HS-0404A	51711
4 Lazy F Dude Ranch Ice House	HS-0406	51712
4 Lazy F Dude Ranch Cabin (a.k.a. End Cabin)	HS-0407	51713
4 Lazy F Dude Ranch Cabin (a.k.a. Middle Cabin)	HS-0408	51714
4 Lazy F Dude Ranch Cabin (a.k.a. Mrs. Oliver's Cabin)	HS-0409	51715
4 Lazy F Dude Ranch Cabin (a.k.a. Harry's Cabin)	HS-0410	51716
4 Lazy F Dude Ranch Caretaker House	HS-0412	51717
4 Lazy F Dude Ranch Outhouse	HS-0412A	51718
4 Lazy F Dude Ranch Garage	HS-0412B	51719
4 Lazy F Dude Ranch Barn	HS-0413	51720
4 Lazy F Dude Ranch Tack Room	HS-0414	51721
4 Lazy F Dude Ranch Chicken Coop	HS-0415	51722

In addition to the contributing buildings and structures formally listed in the List of Classified Structures, the following analysis includes several additional buildings that were counted as noncontributing in the 1990 National Register nomination. These include: the Three-bay Garage (HS-403), the New Cabin (HS-411), and the Mouse House (HS-405). A small well housing, the only one remaining at the site, is also included.

Of the non-contributing buildings noted above, the three-bay garage should have been counted as a contributing building, as it retains integrity and was built prior to 1938, which is the end of the period of significance identified in the 1990 National Register nomination³. Similarly, the well housing also dates to the period of significance and should be counted as a contributing resource. In comparison, HS-400 (River Cabin) and HS-410 (Harry's Cabin) both were moved onto the site after the end of the period of significance, and should not have been counted as contributing resources. It would be appropriate to reassess the period of significance (as it ends prior to the ranch being used as a commercial dude ranch), as well as the lists of contributing and noncontributing resources. The existing property boundary includes only the building clusters, which, although extremely important, do not represent all of the important cultural landscape features associated with the ranch.

Locational Data: USGS Moose, Wyoming, 1968. Lots 3 and 4 of Section 24 and Lots 1 and 6 of Section 25, Township 43 North, Range 116 West. (NPS Land Tract 04-151)

UTM point references: As currently listed, the historic district is delineated by a polygon whose vertices are marked by the following coordinates (all in UTM Zone 12)

A: 523840 m E; 4834590 m N
B: 523340 m E; 4834620 m N
C: 523470 m E; 4835000 m N
D: 523800 m E; 4834840 m N

³ Steven F. Mehls. National Register Nomination for the 4 Lazy F Dude Ranch, 1990. Copy available at Wyoming State Historic Preservation Office, Cheyenne, Wyoming.

Proposed Level of Preservation Treatment: Rehabilitation, defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.⁴

Related Studies: List of Classified Structures (LCS); National Register Nomination for 4 Lazy F Ranch, 1990.

Cultural Resource Data

Date of listing in the National Register: April 23, 1990

Period of significance: As currently listed, 1927-1938

National Register Criteria and Areas of Significance: Criterion A; Area of significance is "entertainment/recreation."

⁴ *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, 1992.

Part 1. Developmental History

A. Historical Background and Context

General Context: Dude Ranching and Tourism in the West ⁵

The beginning of Western tourism dates to the years before the Civil War as visitors such as Rufus Sage and Sir George Gore traveled through the American West. However, it was not until after the construction of the transcontinental railroads and the development of networks of stage lines and trails during the 1870s and 1880s that Western vacations became more popular with the growing American middle and upper classes. During the late nineteenth century, visitors began to filter into Jackson Hole, where they beheld the spectacular scenery of the Tetons. In 1883, President Chester A. Arthur toured Yellowstone National Park and the future GTNP, followed four years later by Owen Wister, author of *The Virginian*. By 1900 a few local settlers had begun to house guests and had built small lodges for paying guest sportsmen. Dude ranching within the current GTNP, evolved during the early years of the twentieth century, when area ranchers, unable to make a living at raising livestock, began to accept paying guests.

In 1842, Rufus Sage battled intemperate weather, rough roads and poor food for the sake of spectacular scenery, to make what is reported to be the first "travel-for-pleasure" trip in the American West. However, those travelers suffering poor transportation and limited facilities were the exception. Wealthy easterners, in search of proof that the wilderness had been civilized, dominated travel to the Western states in the later decades of the nineteenth century. Patrons of coastal or lake resorts arrived in luxurious Pullman cars, described the Rocky Mountains as "America's Alps" and the California coast as "American's Riviera," and stayed in hotels mirroring the grand hotels of Saratoga, Newport, and Europe. The hunter-tourist, though obviously drawn to the less urban mountain areas, was often equally insistent upon eastern comforts; probably the most extreme example is the Englishman, Sir George Gore, who toured the western states with a retinue of forty men to serve him, six wagons and twenty-one carts.

At a less extreme level, the hunter-tourist phenomenon and associated respect for the undeveloped reaches of the West, and for the skills of marksmanship and horsemanship, were important precursors to the second wave of Western tourism. By the early 1900s, Americans, confronted with the "closing of the frontier" and with the sobering realities of industrialization and urbanization, embraced an idealized version of wilderness and of the Old West. The cowboy, the open range (once vilified as the Great American Desert), and belief in the morally uplifting qualities inherent in discipline and in nature, were all critical components of this version of the West, which fostered Western tourism and travel, especially to the nation's national parks.

Historians generally attribute the establishment of the first dude ranch to North Dakota rancher, Howard Eaton. Faced with a deluge of non-paying hunters on this Medora ranch, and with economic hardship generated by a range fire, in 1882 Eaton broke the "code of Western hospitality" and accepted payment for accommodations from Bert Ramsay. The hard winter of 1886-1887 and the ensuing demise of the open-range cattle industry solidified Eaton's commitment to the development of a Western ranch "attractive to easterners of the better and more influential classes." Eaton's ranch offered participation in America's cowboy heritage, solitude, communion with nature, isolation from immoral urban temptations, and the physical and emotional satisfaction of manual labor. In 1904, Eaton moved his operation from the range country of North Dakota to the scenic splendor of Wolf, Wyoming.

⁵ General historic context taken from the amended Grand Teton National Park Multiple Property Submission, 1997. See also John Daugherty's *A Place Called Jackson Hole: The Historic Resource Study of Grand Teton National Park* (Moose, Wyoming: Grand Teton National Park, 1999).

The first dude ranch in Jackson Hole was a collaborative effort between Westerner, Louis Joy and Easterner, Maxwell Struthers Burt. Princeton University graduate, author, and poet, Struthers Burt came to Jackson in about 1908, to enter into a partnership with Louis Joy to operate the JY Ranch, on land patented by Joy in 1907. Difficulties in this partnership prompted Burt to withdraw and, in 1912, to establish a new ranch on the banks of the Snake River—the Bar BC. In order to accomplish this, Burt and his new partner, Horace Carncross, a medical doctor from Pennsylvania, filed homestead and desert land claims—with the stated goal of acquiring the land for the use of wrangling dudes not cattle. Although Burt and Carncross' ultimate goal had originally been to transform the operation into a working cattle ranch, that hope was never realized, and the success of the Bar BC would be acknowledged in the newly developing, western tourist industry, not in cattle ranching. The dude ranching operation at the Bar BC catered to wealthy easterners, with recruitment beginning in Burt's home city of Philadelphia. One of the first dudes at the Bar BC was George Tucker Bispham, son of a prominent Philadelphia attorney, and an eventual partner in establishing White Grass Ranch.

Despite the early example of Eaton and Burt, the "golden age" of American dude ranching did not begin until the 1920s when an unprecedented number of working ranches began accepting dudes to counteract the effects of the farm depression. Nostalgic interest in the American West was at a peak and the American middle class, possessing leisure time and discretionary income, was both growing and traveling. In addition, automobile ownership and the Western road network remained limited, creating a class of "captive clientele" who generally traveled by rail and who committed to a two-week or longer stay at destination resorts.⁶

All early phases of the Western tourist industry, especially the development of lodging facilities in the western national parks, depended upon the railroads. Corporate interests that operated national park hotel and transportation systems were often owned or subsidized by railroad interests, who used the attraction of park vacations to boost rail passenger travel. By the mid-1920s, the American middleclass had embraced private car-camping and lower-cost accommodations. Rail passenger travel had decreased sufficiently that railroads were cultivating a partnership with the growing dude ranch industry:

[Dude ranchers] kept saying what the railroad liked to hear, that ranchers in the dude business didn't care for sagebrushers [campers], who were inclined to drive on the next day. What they liked ... were guest who'd leave family cars at home, buy rail tickets, and stay awhile.... A wishful statistician could calculate that 50 or more nice ranches along the Northern Pacific between the Badlands and Cascades could add accommodations for about 2500 dudes via rail. Turn 'em over three or four times a season and you generate a half million dollars in rail revenue.⁷

In anticipation of that revenue, Western railroads, including the Union Pacific (UP), promised dude ranchers the support of the railroad's advertising division. The Dude Ranch Association pledged to establish cooperation and acquaintances among resort owners and railroad officials," resulted from this newly articulated mutual interest.⁸ In September of 1926 the Dude Ranch Association held its first annual convention, with the owners of twenty-six Montana and Wyoming ranches, the governors of both states, and passenger agents for the Northern Pacific and Union Pacific railroads in attendance. The guest list reflected both the increasing importance of tourism in the Rocky Mountain economy and the havoc being played upon the railroads' passenger-travel trade by the automobile. The formal acknowledgement of the dude ranch industry and the delineation of industry standards marked the coming of age of what had been an informal, individualistic enterprise fostered by the economic hardship experience by Western ranchers and by changes in the American social and cultural scene.

⁶ Lawrence Borne, *Dude Ranching, A Complete History* (Albuquerque: University of New Mexico Press, 1983), 19-22.

⁷ Max Goodsill, passenger agent for the Northern Pacific Railroad, quoted in Joel H. Bernstein, *Families That Take In Friends: An Information History of Dude Ranching* (Stevensville, Montana: Stonedale Press Publishing Company, 1982), 46.

⁸ *Bozeman Daily Chronicle*, "Dude Ranches," 9/23/1926, Vertical File, Merrill G. Burlingame Special Collections, Montana State University, Bozeman, Montana.

The association formally defined dude ranches as either working ranches of large acreage, generally located in the plains country or the foothills, or mountain ranches set in places of scenic beauty. Montana's Dick Randall is credited with successfully arguing at this first meeting for the continued use of the word "dude." Randall contended that the term was not derogatory, simply meaning "someone from outside the Rocky Mountain states," and was more picturesque than the term "guest."⁹

With stations at Victor, Idaho, West Yellowstone, Montana, and Rock Springs, Wyoming, the Union Pacific Railroad provided the primary access to Jackson Hole dude ranches, and its publication, *Dude Ranches Out West*, provided the primary advertising forum for the ranches. The UP described Jackson Hole as "one of the best fishing and hunting regions, and one of the most beautiful, scenically, in the country." The amenities offered by the ranches varied from cabins with hot running water and private bath, to cabins with pitcher and basin and "private" outhouse. Ranch activities varied from "rugged outdoor exercise" to "quiet relaxation" and included the annual Jackson Hole rodeo and Sunday morning church service at the Chapel of the Transfiguration at Moose, Wyoming. Historically, client lists were always "exclusive," and exclusively Caucasian and Christian. For a relatively short period of time, some Jackson Hole dude ranches catered to boys from the East, sent west by their parents to spend a summer away from the pavement and noise of city life and to learn the simple skills of Western living.

The character of the buildings and accommodations offered by dude ranches followed a Western theme. Max Goodsill, advisor to the Dude Ranch Association, warned dude ranchers to "keep their ranches real, a genuinely Western spot," and cautioned them against the mistake of having improvements that did not "look Western."¹⁰ In Jackson Hole this led to the construction of log buildings consciously made to look like pioneer buildings, long after the economic and environmental rationale for this vernacular style had waned.

Brochures for Jackson Hole dude ranches reveal similarity in architectural style and services offered. Buildings were described exclusively as log and variously as "rambling," "well-furnished," "rustic, but comfortable," with "unobstructed views of the mountains." Amenities often included private outdoor toilets and hot and cold water at the main ranch house. By the mid-1930s, some ranches advertised indoor plumbing. Meals were served family-style in a central lodge or dining hall, and consisted of home-grown vegetables, beef, poultry, and dairy products. Although the language differed, all ranches emphasized the degree to which the character of the buildings, furnishings, and meals "conformed to ranch life as a whole." The stables, barns, corrals, saddle horses, and wranglers in full Western regalia served as integral accessories to this self-conscious Western style.

The emphasis on appearance and seasonal use often led to the employment of less labor-intensive log construction styles, including box cornering and false-corner timbering. Cabin foundations were often shallow and insubstantial, reflecting seasonal habitation and the ease with which the small and easily constructed buildings could be replaced. Seasonal vacation use was also reflected in the front porches (most often created by extending the gable end or eave), which mimicked the Western trapper cabin and provided a semi-private outdoor room for guests. Duplex cabins generally had symmetrical fenestration, with each cabin mirroring its neighbor. Cabins were arranged around the central lodge or dining hall, with privies tucked in the woods behind each cabin. Usually, livestock facilities such as barns and corrals were isolated from the dudes' cabins.

The end of the expansion of the dude ranch industry in Jackson Hole was brought about by a number of economic and political factors. Primary among these was the establishment of Grand Teton National Park, and the beginning of the Great Depression, both of which occurred in 1929. The former initiated the process of land acquisition that would later result in the establishment of Jackson Hole National Monument, and eventually, the

⁹ Ibid.

¹⁰ "Montana Charms Dudes, Dude-ines; Ranches Hold to Theory that Good Time in Real Western Manner is What Guests Want and Appreciate, Not Chance to Face Privation," newspaper not identified, 9/26/1940, "Dude Ranches" vertical file, Burlingame Special Collections, Montana State University.

current Grand Teton National Park, which incorporates many of the early ranches and dude ranches in Jackson Hole. The latter had a profound economic effect on the dude ranch industry as a whole, including those located in Jackson Hole. Fortunes lost in New York, Chicago, and Philadelphia translated into fewer paying dudes out West. Many of the cattle and dude ranch operators sold out to John D. Rockefeller Jr.'s Snake River Land Company, which was purchasing ranch land in the vicinity of Jackson Hole for eventual inclusion in the then-proposed National Monument. Those who did not sell immediately relied on other income to make it through the depression.

A third factor that contributed to the decline in dude ranching was the expansion and improvement of the vehicular road system. During the 1920s, miles and miles of new highways were planned and constructed. These new roads encouraged vacationers to rethink their definitions of a vacation. Extended stays at one location no longer held the fascination that they once had. Rather, trips to include visits to as many sites as possible became more popular, especially for the growing number of middle class Americans who owned their own automobiles. In response to this new tourist market, entrepreneurs began to build facilities designed specifically to accommodate self-contained automobile travelers, who usually required simple accommodations where they could prepare their own meals and be sheltered from the weather.

After establishment of the expanded Grand Teton National Park in 1950, most of the remaining dude ranchers found their properties inside the park boundary, and subject to National Park Service regulation. Eventually, all sold their property to the Department of the Interior, many continuing to operate under lease agreements and lifetime tenancies.¹¹

Establishment and Development of the 4 Lazy F

Although the 4 Lazy F Ranch was not purchased or built to be used as a commercial dude ranch, the character of its infrastructure was influenced by that of well-established area dude ranches, primarily Struthers Burt's Bar BC, where the Frews spent their first summer in Jackson Hole. Burt's Bar BC Ranch, the second dude ranch to be built in the valley, introduced many easterners to Jackson Hole, and to an idealized version of Western life, including Bryant Mears, who secured the homestead patent to the land on which the Frews eventually established the 4 Lazy F.

Bryant Mears and his sister, Frances, natives of Maine, came west to stay at the Bar BC Ranch. Unlike the majority of dudes, both stayed in the vicinity—Bryant to establish his own ranch, and Frances to marry Bar BC wrangler, Buster Estes.¹² Bryant Mears selected a four-lot parcel of land just a mile south of the Bar BC, containing roughly 134 acres of land. He filed his claim in the Evanston, Wyoming Land Office on November 19, 1914, and established his residency on the property in February of the following year. By July of 1915, Mears had completed a 20 by 24-foot log house. Most of his homestead improvements, which eventually included a 16 by 18-foot log barn, a corral with eight panels of pole fencing, a second 16 by 20-foot log house, and a 25-foot-deep well, were located in Lot 1 of Section 25. Outlying improvements included 480 rods of buck and four-pole fence and 160 rods of post and four-pole fencing.¹³

¹¹ If the National Park Service had a policy about the acquisition of private property within newly established park administrative boundaries, it was that the government would purchase property from willing buyers, using the threat of condemnation as a last resort.

¹² Buster and Frances Estes homesteaded a small parcel just south of Moose, where they established their own dude ranch, the STS. In 1945, Olaus and Mardy Murie and Adolph and Louise Murie purchased the STS; today the ranch is used as the Murie Center, and is listed as a National Historic Landmark.

¹³ A rod is a unit of measurement used in land surveying, equal to 16.5 feet or 5.5 yards. Mears' 160 rods of fencing would equal roughly 2,640 feet of fence.

Although Mears met the minimum requirements to receive his homestead patent in 1921, his efforts at cultivating crops were limited—in part because of some extended absences. He left his claim for about four months between November of 1916 and March of 1917 to return to the East to get married. He left again for two years—between July of 1917 and July of 1919, to serve overseas in the U.S. Army during World War I. His wife was absent from the claim for the last few months of 1919 and the first part of 1920. Mears received his patent to the homestead property on May 10, 1921 and named it the Sun Star Ranch.¹⁴

There is little documentary information about the relative success or failure of Mears' venture. John Daugherty, author of *A Place Called Jackson Hole: the Historic Resource Study of Grand Teton National Park*, suggests that Mears intended to set himself up as a “gentleman rancher.”¹⁵ According to Nathaniel Burt, son of Bar BC Ranch Founder, Struthers Burt, Mears was a dangerously unstable character.¹⁶ In any event, Mears does not figure prominently in Jackson Hole history after the late 1920s.

Property transfer deeds available at the Teton County Courthouse show that Mears deeded the ranch to one Edward Mears of Bar Harbor Maine, on April 1, 1921—before receiving his patent. By that time, Bryant Mears had divorced, and apparently was living in town.¹⁷ In 1927, Edward Mears sold the 134-acre property to William H. and Margaretta Frew, of Pittsburgh, Pennsylvania, for \$4,000.¹⁸

William, his wife Margaretta, and their two daughters, Emily and Margaretta (Peggy), spent two months during the summer of 1925 at the Bar BC Ranch, where William could enjoy the fishing in the Snake River. In a 1995 interview, daughter Emily explained that their family's summer vacations were usually spent in an area where her father could fish.¹⁹ During their stay at the Bar B C, the Frew daughters enjoyed other activities offered by the Bar BC and most other local dude ranches, particularly the daily horseback riding (Figure 1). The Frews liked the Jackson Hole area so well that they looked for an appropriate property to purchase, which would serve as a family summer retreat, eventually buying the Mears homestead.²⁰

William H. Frew and his father William Nimick Frew, were both close associates of Andrew Carnegie. William Nimick Frew, an attorney, served as the President of the Board of Trustees of the Carnegie Libraries, which controlled the Carnegie system of free libraries. He also served on the boards of the Carnegie Institute of Washington, the Carnegie Hero Fund Commission and the Carnegie Corporation of New York.²¹ His son, William Frew was one of the original incorporators of the Carnegie Corporation, and between 1943 and 1948 he served as the President of the Carnegie Institute and Library.²²

¹⁴ Final Proof, Testimony of Claimant, Patent No. 805788, 22 September, 1920. Copy available in Cultural Resources Office, Grand Teton National Park Headquarters, Moose, Wyoming; John Daugherty, *A Place Called Jackson Hole: The Historic Resource Study of Grand Teton National Park* (Moose, Wyoming: Grand Teton National Park, 1999), 228.

¹⁵ John Daugherty, *A Place Called Jackson Hole*, 117.

¹⁶ Nathaniel Burt, *Jackson Hole Journal* (Norman, University of Oklahoma Press, 1983), 59.

¹⁷ Warranty Deed, dated April 1, 1921, Deed Book 2, page 295, Office of the Clerk and Recorder, Teton County, Jackson, Wyoming.

¹⁸ Deed, dated February 9, 1927, Deed Book A, page 541, Office of the Clerk and Recorder, Teton County, Jackson, Wyoming.

¹⁹ Transcribed interview with Emily Frew Oliver, September 28, 1995. Transcript on file at Jackson Hole Historical Society and Museum, Jackson, Wyoming

²⁰ Emily Oliver Frew indicates that her family first came to Jackson Hole in 1925, and began building their retreat the following year, in 1926. Deed records indicate that the transfer of property actually occurred in 1927. Transcribed interview with Emily Frew Oliver, September 28, 1995; Deed, dated February 9, 1927, Deed Book A, page 541, Office of the Clerk and Recorder, Teton County Courthouse, Jackson, Wyoming

²¹ October 29, 1915. *New York Times*

²² The Carnegie Institute in Pittsburgh consisted of a library, natural history museum, art gallery, and concert hall, all built between 1891 and 1907. http://www.carnegielibrary.org/exhibit/neighborhoods/oakland/oak_centb.html, accessed December 5, 2007.

William and Margaretta selected a site on a level terrace directly adjacent to the Snake River, about an eighth of a mile southeast from the Mears homestead buildings. They hired a local builder, Charles Fox, to construct the buildings at their new retreat, named the Four Lazy F, which stood for the “four lazy Frew’s.”²³ Fox, who had come to Jackson in 1910, was a prominent local builder who operated a lumber yard and contracting business from his Jackson shop. After Fox emigrated to the United States from his native Germany, he had worked as a carpenter. In Jackson, he mostly employed local men with carpentry skills to do the work and acted as the general contractor. Besides constructing many homes in Jackson, Fox built the Chapel of the Transfiguration near Menor’s Ferry inside what is now Grand Teton National Park in 1925, and the new Teton County Courthouse in 1930.²⁴

The first buildings to be completed at the Frew retreat included the central lodge (HS-399) and three double sleeping cabins (HS-407, 408 and 409), one for William and Margaretta and one for each daughter (Figures 2 and 3). They planted a large expanse of lawn in front and south of the lodge, which was ringed by native stands of cottonwood. The initial improvements also included two wells with frame well housings, one in front of the lodge (see Figure 2), and one in front of the sleeping cabins

Other early buildings included the bathhouse (HS-404) and the ice house (HS-406), and three outhouses, one for each sleeping cabin, located in the woods behind the cabins.²⁵ Until the addition of bathrooms in the three double sleeping cabins in the mid-1940s, the bathhouse provided the only bathing facilities at the ranch.²⁶ The Frews obviously based the site plan on that of a typical dude ranch, with the sleeping cabins separate from the lodge, which contained a large kitchen, and space for communal living, dining, and entertaining. The buildings themselves, made of log with simple functional plans, also mirrored typical dude ranch architecture.

In addition to the buildings specifically built for their own use the Frew’s contracted for the construction of a house and outhouse for the ranch caretaker, located in the vicinity of Mears’ homestead improvements. They also had a barn built and adapted one of Mears homestead buildings for use as a tack room (Figure 4). Because the caretaker lived at the site year-round, the character of the infrastructure in the vicinity of the caretaker’s house was similar to that of a typical subsistence homestead, with the barn and associated corral, a chicken coop, and a pen for hogs. The barn was large enough to store hay grown on the ranch in irrigated fields and to shelter milk cows as well as horses, which were wintered-over at the ranch.²⁷ During the early years, the Frews also kept a few cows and hogs, primarily to provide meat for the caretaker, as well as for the family during its yearly summer stay.

Between the completion of the initial construction in 1927, and the death of William and Margaretta Frew in 1948 and 1949 respectively, the family returned to the ranch for all or part of each summer. They participated in the same range of activities as was typical of dudes staying at commercial dude ranches—fishing and horse-back riding—and socialized with dudes staying at many of the nearby dude ranches. Although the character of the 4 Lazy F Ranch improvements mirrored that of the adjacent dude ranches, while William and Margaretta were alive, the ranch was not open to paying guests.²⁸

²³ John Daugherty, *A Place Called Jackson Hole: The Historic Resource Study of Grand Teton National Park*, 245.

²⁴ Fern K. Nelson, *This Was Jackson’s Hole: Incidents & Profiles from the Settlement of Jackson Hole* (High Plains Press, Glendo, Wyoming, 1994) 211-214.

²⁵ Ice was cut from the ponds adjacent to the barn near the caretaker’s house. Henry (Harry) Oliver III, telephone interview, conducted with Janene Caywood, July 16, 2007.

²⁶ Henry (Harry) Oliver III, July 16, 2007.

²⁷ Henry (Harry) Oliver III, July 16, 2007

²⁸ Transcribed interview with Emily Frew Oliver, September 28, 1995.

Upon the death of her mother in 1949 Emily Frew Oliver, assumed control of the 4 Lazy F Ranch.²⁹ The following year, 1950 (the same year as the establishment of Grand Teton National Park) Emily and her husband Henry Oliver Jr., began accepting paying guests. The decision to change from a family retreat to a commercial dude ranch was based in part upon economics, i.e., the Oliver's needed to find a way for the ranch to support itself. Also, after years of observing neighboring dude ranches, Emily Oliver was uniquely qualified to operate one herself; she and her husband thought that a dude ranch would be an interesting way to make the place pay for itself.

According to the Oliver's' eldest son, Harry, his parent's first customers came through referrals from other area establishments, such as Dornan's, located across the Snake River from Menor's store and ferry. Emily Oliver also sought customers herself by standing in front of the Moose Post Office, asking people if they needed a place to stay. Unlike some area dude ranches, which did not accommodate walk-in or short-stay guests, the Oliver's did. During the 1950s, they charged \$10.00 per night, with meals included.³⁰

Eventually, the Oliver's listed the ranch in published promotional literature. A circa 1960 advertisement describes the accommodations, season of operation, and activities at the "Four Lazy F Ranch" as follows:

Accommodations: double bedroom cabins with bathrooms and electricity. Double bedroom in main cabin with private bath. . . . Season, July 1 to Sept. 30. Activities: Riding, swimming, fishing along streams or boat fishing on the Snake River. Pack trips into the mountains and trips to Yellowstone National Park can be arranged.³¹

Emily and Henry Oliver shared the dude ranch tasks; Emily managed the riding and the supervision of the cabin girls and cook, and Henry handled the fishing including trips to Yellowstone. Their young sons, Harry and Charles (Bucky), helped with the ranch chores, including haying and rounding up the saddle horses each morning. Following a long-established pattern, the caretaker handled the agricultural aspects of ranch operation including irrigating with the help of a seasonal hired hand, who bunked in the tack room near the barn.³² The caretaker lived at the ranch year-round, earning \$125.00 per month for his services.³³

During the decade of the 1950s, the Oliver's made few changes at the ranch, continuing to use the existing buildings and ranch lands in much the same manner as when the property was used solely as a family retreat. One improvement was the addition of a casting pond near the lodge and sleeping cabins, built in 1952 (Figure 5). The lawn in front of the house continued to be flood-irrigated with water drawn from the main irrigation canal. In 1954, the Oliver's moved a cabin from the Crescent H Ranch, south of Wilson, to the 4 Lazy F, hauling it over the narrow Moose-Wilson Road. Henry Oliver also improved the ponds east of the barn by building a small earthen dam, which resulted in impounding more water.³⁴

The agricultural workings of the ranch also saw little change. They kept two or three milk cows, but increased the number of saddle horses to approximately thirty to accommodate the ranch guests. They continued to keep work horses, which were used by the caretaker to pull a sled for winter transportation. Hogs were kept in a pen west of the barnyard and fed the refuse from the kitchen. Chickens kept in the coop north of the barn provided eggs and

²⁹ Margaretta Frew deeded the 4 Lazy F Ranch to Emily Frew Oliver in 1943. Warranty Deed dated November 5, 194, Deed Book 7, page 334, Office of the Clerk and Recorder, Teton County, Jackson, Wyoming.

³⁰ Henry (Harry) Oliver III, July 16, 2007.

³¹ Copy of undated promotional brochure (hand-written note on back indicates circa 1960 publishing date), "Dude Ranches" Vertical File, Jackson Hole Historical Society and Museum, Jackson, Wyoming.

³² The building currently referred to as the Nurse's Cabin (HS-401/402), represents the cook's and cabin girls' quarters. Henry (Harry) Oliver, July 16, 2007.

³³ Henry (Harry) Oliver, July 16, 2007.

³⁴ Ibid

meat throughout the year. The hogs and a few beef cattle were slaughtered in the fall, and the meat kept in a locker in Jackson, with part made available to the caretaker.³⁵

During the summer operating season, Mrs. Oliver hired a cook and two or three girls to clean the cabins. The cook was responsible for the preparation of six meals a day; breakfast for staff and guests at 6:00 and 7:00 a.m. respectively, lunch for staff and guests at noon and 1:00 p.m., and dinner for staff and guests at 6:00 and 7:00 p.m. The cook called people to their meals by ringing a bell mounted atop the lodge roof. The cook had her own cabin, while the cabin girls³⁶ shared a room.³⁷

In the 1960s, the Oliver's expanded their landholdings in the valley, added some new buildings to area of the lodge, and altered existing buildings. Henry Oliver purchased another ranch farther south near Jackson—primarily for the spring fed creeks that flowed through the property. According to Emily Oliver, by this time, the quality of the fishing in the Snake River had declined, and the new ranch offered access to high-quality bank fishing.³⁸ After this purchase, the saddle horses were wintered on the lower ranch rather than at the dude ranch.³⁹

In order to diversify the type of guest accommodations, in the 1961 the Oliver's moved an existing building from another ranch to the area north of the lodge overlooking the Snake River. This building is referred to as the River Cabin (HS-400). In 1964, they added yet another one-room cabin—this one built on site by Jackson contractor, Jack Kranenburg. The completion of this building (HS-411) located south of the three original double cabins brought the total number of single cabins to three, including the River Cabin and the old Crescent H cabin (HS-410, referred to as Harry's Cabin).⁴⁰

In addition to the new construction, several buildings were modified during the 1960s. The most significant of these modifications occurred at the caretaker's house, where the front porch was enclosed and a new addition built to expand the kitchen.⁴¹ Another major alteration was the construction of a room in the interior of the barn, for use as a shop.

The completion of the New Cabin (HS-411) marked the end of the family's major additions and improvements to the 4 Lazy F. In 1967, Mrs. Oliver sold the ranch to the US Government for \$650,000, reserving the right to occupy the ranch and continue the dude ranch operation for the duration of her lifetime.⁴² The lease agreement with the park required that the Oliver's obtain government approval prior to making any major alteration or addition to the property. Between 1967 and 1977, the Oliver's continued to operate the ranch under their National Park Service lease.

After the death of Henry Oliver in 1977, their eldest son, Harry, became more actively involved in helping his mother with ranch operations. Between 1977 and 2005, Harry spent May through the end of October of each year at the 4 Lazy F, returning to his home in Santa Fe, New Mexico, for the winter. With the help of her son and long-term employees, Mrs. Oliver continued to operate the 4 Lazy F well into the 1990s. Working with the built environment established by her parents, she created a unique experience for her guests (Figures 6 and 7).

³⁵ Ibid

³⁶ During the early years of the dude ranch operation, Mrs. Oliver hired local girls to do the housekeeping. Later, she brought her granddaughters and their friends from the east. Henry (Harry) Oliver III, July 16, 2007

³⁷ Henry (Harry) Oliver III, July 16, 2007

³⁸ Transcribed interview with Emily Frew Oliver, September 28, 1995

³⁹ Henry (Harry) Oliver III, telephone interview, conducted with Janene Caywood, July 16, 2007.

⁴⁰ Harry Oliver usually occupied HS-410 when staying at the ranch. However, if his mother needed a one-room cabin for guests, he would move into a bedroom in the lodge. Henry (Harry) Oliver III, July 16, 2007.

⁴¹ Henry (Harry) Oliver III, July 16, 2007.

⁴² Warranty Deed dated August 4, 1967, Deed Book 14, page 351, Office of the Clerk and Recorder, Teton County, Jackson, Wyoming.

Nathaniel Burt, son of Bar BC founder, Struthers Burt, described the Four Lazy F in his 1983 *Jackson Hole Journal*:

This beautiful outfit... was intended as a fishing ranch, with its own reach of the Snake River at the back door and out the front a lushly irrigated lawn among cottonwoods. The main cabin was and is one of the most tastefully magnificent interiors in the Hole, filled with antiques from older houses in Pittsburgh and handmade Western furniture.⁴³

In 2006 Emily Frew Oliver (Figure 8) voluntarily terminated her life estate in the 4 Lazy F Ranch.⁴⁴ Since then all personal property has been removed from the buildings, and Grand Teton National Park has assumed responsibility for the ranch.

⁴³ Nathaniel Burt, *Jackson Hole Journal*, Norman, University of Oklahoma Press, 1983:69-70.

⁴⁴ Document No. 688869, Office of the Clerk and Recorder, Teton County, Jackson, Wyoming.



Figure 1. Emily Frew on the porch of a cabin, probably at the Bar B C in 1926. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [C1.004.h 1958.1801.001].



Figure 2. Looking east towards the front of the Lodge nearing completion. Note the well housing in front of the building. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1958.1801.01N].



Figure 3. Looking northwest towards the south and east walls of the Lodge, soon after completion. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1958.2031.01].



Figure 4. Looking north towards the barn and tack room. Note the small building just beyond the barn. This building is no longer present. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1958.2035.1].



Figure 5. Looking northwest over the casting pond. Harry's Cabin (HS-410) visible beyond the pond. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1989.2268.001].



Figure 6. Front of the Lodge, probably 1980s. Note the climbing vine at each corner of the porch and the elk antlers nailed to the roof truss. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1989.2293.001].



Figure 7. Interior of the Lodge, circa 1980. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1988.1816.013].



Figure 8. Emily Frew Oliver on the front porch of the Lodge, circa 1985. Source: Collection of the Jackson Hole Historical Society and Museum, Jackson, Wyoming [1989.2282.001].

B. Chronology of Development and Use

Development and Use of the Site

Bryant Mears made the initial improvements at the 4 Lazy F Ranch as part of his efforts to patent his homestead claim. Although little documentary evidence exists to mark the location of Mears' improvements, it is believed that most were located in the area now occupied by the Caretaker's House and associated outbuildings. Two of the buildings in this cluster, the Tack Room (HS-414) and the Garage (HS-412B) are made with square notches, in contrast to the saddle notches used in the buildings known to have been built by the Frew's contractor. A circa 1930 photograph of the barn and corral shows a small log building on the east side of the barn, north of the tack shed, which may be another of Mears' homestead buildings. The small log building has since been removed from the site.

In 1927 William and Margaretta Frew contracted for the construction of the Lodge and three sleeping cabins at a new location adjacent to the active channel of the Snake River. Other buildings believed to date to this initial phase of development include the Ice House (HS-406) and the original bathhouse (currently referred to as George's Cabin (HS-404). In addition, each of the three double sleeping cabins had its own outhouse, located in the woods south of the cabins. In order to access the new Lodge and cabins, a rough two-track road was established linking the new development with the old homestead building complex. Other improvements included two wells, one directly in front of the Lodge, and another in front of the Middle Cabin. Finally, the area in front and south of the Lodge was planted in grass, and irrigated from a field ditch branching from the ditches used by Mears to water his fields.

The Frew's also contracted for the construction of a house for the caretaker, and a barn in the vicinity of Mears homestead improvements. They dragged the building currently referred to as the Tack Room slightly south of its original location to its current position southeast of the barn. Because the caretaker lived at the site year-round, and was responsible for caring for the ranch livestock, the caretaker's building cluster was a self-contained unit, similar in many respects to the local subsistence homesteads, with a barn and corral and chicken coop.

Between 1927 and 1949, the Frew family continued to enjoy the ranch as a private family retreat, and made few additions to either building cluster. Exceptions include the mid-1940s addition of bathroom additions to each of the three double cabins, and the subsequent removal of the outhouses.

After inheriting the 4 Lazy F Ranch, in 1950, Emily and Henry Oliver began accepting paying guests. Other than moving the Crescent H Ranch cabin to the Lodge cluster in 1954, this expansion in use did not immediately result in major additions to the ranch; a casting pond, built in 1952, marks the only addition to the Lodge building cluster. In the 1960s, however, the Oliver's added two single cabins, in order to offer a wider variety of accommodations to their guests. Also in the early 1960s, the Oliver's quit using flood irrigation to water the lawn, using instead a sprinkler system with water pumped from the casting pond⁴⁵. The small ditches in the Lodge cluster were no longer used, however, they were not filled in, and remain visible today.

Other than the establishment of the lawn and some flowerbeds in front of the main Lodge, the Oliver's made few changes to the native vegetation in either the Lodge or the caretaker's building clusters, preferring to leave the area in a natural state. The mature cottonwood trees in the vicinity of the buildings do show signs of having dead limbs removed—probably for safety reasons. Native vegetation predominates within both the Lodge and caretaker's complexes, although the establishment of irrigation ditches has affected the distribution of native species—especially aspen, willows, and other water-loving species that have established themselves along the ditch courses.

Development and Use of Individual Buildings at the 4 Lazy F Ranch.

Modifications to individual buildings at the 4 Lazy F have been relatively few. They are summarized as follows:

⁴⁵ Although it had no direct effect on the development within the 4 Lazy F, in the early 1960s, Emily and Henry Oliver purchased two other ranches in the Jackson Hole vicinity specifically for their spring-fed creeks, which had better fishing than could be found in the Snake River.

HS-399 Lodge: This building has always been used as the central gathering place at the 4 Lazy F. Meals for both staff and guests were served in this building, and the central great room with the fire place contained room for relaxing and entertainment. In addition, the Lodge contained a single guest room with a private bath.

The Lodge has been changed very little since completed in 1927. Originally, a board floor ran across the entire length of the south wall. Today, the board floor has been replaced with two concrete stoops, one in front of each entrance. The grade at this end of the building is higher than as originally constructed.

The shed roof volume on the north wall of the building is an addition, although the date of its construction has not been documented. Relatively minor modifications have also been made in the manner in which the rolled asphalt roofing has been applied to the Lodge. Originally, the roofing was applied vertically or perpendicular to the long axis of the roof. Currently, the roofing is applied horizontally—parallel to the ridge line. It is likely that the roofing on other early buildings was also applied vertically, but, as no historical photographs of the other buildings are available, this cannot be verified. On the Lodge, the bell that was used to call people to their meals has been removed from the northwest edge of the roof.

Three-Bay Garage: The only modification to this building is the addition of an interior concrete floor, which appears to have been poured after its completion. The date of this modification has not been documented.

HS-400 River Cabin: This cabin was moved to the site in 1961, and does not appear to have been modified since that time.

HS-400A Smokehouse: This structure does not appear to have been modified since its construction.

HS-401-402 Nurse's Cabin: Originally two separate log buildings constructed to house ranch staff (the cook and the cabin girls), the space between the buildings has been framed in to house a bathroom and a closet. The date of this modification has not been firmly established.

HS-404 George's Cabin (Original bathhouse): As indicated above the log portion of this building represents the original bathhouse, used by all of the ranch occupants before the addition of bathrooms to the sleeping cabins. The frame addition, which houses the sleeping room, was added in the late 1950s or early 1960s, when the Oliver's hired a fishing guide to work with their guests. Its current name, "George's Cabin," derives from the first name of a long-time 4 Lazy F fishing guide.

HS-406 Ice House: Although no longer used as an ice house, this building has not been structurally modified. Its use has changed to simple storage.

Mouse House: This rodent-proof storage building has not been modified. It was designed to store linens during the off season.

HS-407 End Cabin: As originally built, this cabin has a simple rectangular plan. The frame bathroom addition was built in the 1940s. The concrete porch appears to have been poured after initial completion of the building. On the interior, the use of synthetic daubing indicates a recent application. The use of the building has not changed, is has always been used as sleeping quarters for either family members or for guests.

HS-408 Middle Cabin: As originally built, this cabin has a simple rectangular plan. The frame bathroom addition was built in the 1940s. The concrete porch appears to have been poured after initial completion of the building. The use of synthetic daubing on the interior walls indicates a recent application. Similarly, Celotex-type material has been applied to the underside of the roof sheathing between the purlins. The use of this building has not changed.

HS-409 Mrs. Oliver's Cabin: As originally built, this cabin has a simple rectangular plan. The frame bathroom addition was built in the 1940s. The concrete porch appears to have been poured after initial completion of the building and the underside of the roof sheathing between the purlins has been covered with a Celotex type material. Electric baseboard heating units have been installed in the east sleeping room and in the bathroom. The use of this building has not changed.

HS-410 Harry's Cabin: The Oliver's moved this building onto the property in the mid-1950s. The frame portion was built on site. There have been few changes to the building since that time, other than the application of Celotex to the underside of the board roof sheathing between the purlins in the log component and the application

of synthetic daubing. Although moved to the site specifically to be used by Henry Oliver III, this cabin was sometimes used to lodge guests, when a single cabin was needed. In these instances, Harry would move into the Lodge for the duration of the guest stay.

New Cabin: Constructed on site in 1964, this building has not been modified, other than the application of synthetic daubing to the interior walls, which appears to have been done fairly recently.

HS-412 Caretaker's House: Built specifically to house the ranch caretaker and his family, this building is similar to the Main Lodge in its design. In the 1960s, however, the open porch on the front of the building was enclosed to increase the interior living space. Sometime later, a frame addition was added to the north end of the building, expanding the kitchen.

HS-412B Caretaker's Garage: This building has not been modified since its construction, although its use has changed through the years. According to Harry Oliver, this building was more often used as a wood shed than as a garage.

HS-412C. Caretaker's Outhouse: This building has not been altered since its construction. It has been abandoned since the installation of a bathroom in the Caretaker's House.

HS-413 Barn: Built in the late 1920s as part of the Frew's initial development at the ranch, there have been few changes to the barn exterior. Exceptions include the installation of a full-height sliding door in the middle of the south wall. The sliding door replaced a hay door in the half story. In addition, the one-story wings on either side of the building may have originally been covered with boards rather than the current green rolled asphalt. The interior of the central volume has been extensively remodeled, including the installation of plywood walls and ceiling, and the pouring of a concrete floor.

HS-414 Tack Room: This building is believed to date to the homestead era, and may have served as either a small barn or as another dwelling. The Frew's dragged the building about 50 yards south from its original location, and added the shed roof addition. Primarily used for the storage of horse tack, the building also housed seasonal ranch help during the summers.

HS-415 Chicken Coop: Originally built to house chickens, this building has been abandoned since roughly the early 1960s. Lack of maintenance has resulted in deterioration of the roof structure, which has failed.

C. Physical Description (Existing Conditions)

The following contains a systematic inventory of all features, materials and spaces according to significance, condition and impact level.

Significance is defined as the quality of being important, or the feature's association with the historical themes expressed in the *Historical Background and Context* section of this report. Significance is exemplified in the character defining features. It is evaluated as High, Medium, or Low.

Condition is the feature's state at the time of assessment with respect to performance, stability and integrity. It is evaluated as Good, Fair, or Poor, as specified by the List of Classified Structures.

- | | |
|-------------|--|
| Good | The structure and significant features are intact, structurally sound and performing their intended purpose. The structure and significant features need no repair or rehabilitation, but only routine or preventative maintenance. |
| Fair | a. There are early signs of wear, failure, or deterioration though the structure and its features are generally structurally sound and performing their intended purpose, OR
b. There is a failure of a significant feature of the structure. |
| Poor | a. The significant features are no longer performing their intended purpose, OR
b. Significant features are missing, OR
c. Deterioration or damage affects more than 25% of the structure, OR
d. The structure or significant features show signs of imminent failure or breakdown. |

Site

The buildings at the 4 Lazy F Ranch occur in two separate clusters referred to hereafter as the lodge cluster (containing the Lodge, sleeping cabins and support buildings associated with housing ranch guests and some staff), and the caretaker's cluster (consisting of the caretakers house and agricultural outbuildings). The lodge cluster is located within a cottonwood grove on the west bank of the Snake River. It is fenced on the west and south sides with a buck and pole fence, while the east edge of the cluster is defined by the river channel. One enters the complex from the northwest, via a graveled two-track road that ends in a turning loop at the north end of the Lodge. Figures 9 and 10 show the boundary of the ranch and the developed area within the ranch.

The Lodge, or Main Cabin as it is called by family members, is located at the center of the complex. It is sited to take in the view of the Teton Mountains from its front porch. Irrigated grass lawn extends around the front and rear of this building, and extends south to include the area in front of the three double sleeping cabins. Towards the south and west perimeter, the lawn is interspersed with native cottonwood, and a few Englemann spruce and pine. Vegetation outside the lawn consists of native species including sagebrush, sulpher buckwheat, birch leaf spirea, arrowleaf balsamroot and various native grasses. There is very little ornamental vegetation—the exception being the area directly adjacent to the Lodge. Cobble-lined flowerbeds adjacent to both sides of the recessed entry porch contain day lilies and a climbing vine, which is trained along chicken wire affixed to the open truss system of the roof. A lilac bush is located at the southeast corner of the Lodge and honeysuckle shrubs are found at the rear and adjacent to the north end of its west wall.

A shallow gully runs northwest to southeast behind the three original sleeping cabins. It is densely vegetated with cottonwood and aspen. A small casting pond, formed by damming the gully, is located slightly west of the End

Cabin. Built in 1952, the pond was also used for swimming and later as a source of water to irrigate the lawn. The pond is filled from an irrigation ditch that runs along the west edge of the perimeter fence. (The source of the irrigation water is Cottonwood Creek, a tributary of the Snake River.)

Besides the graveled two-track that leads to the Lodge, two smaller road traces provide vehicular access to the River Cabin and to Harry's Cabin. These roads are not built features, but have been established through use. They appear as indistinct linear features free of shrubby vegetation.

The caretaker's building cluster is located about an eighth of a mile northwest of the lodge cluster. The caretaker's house, garage and outhouse are located in a grove of native cottonwood, aspen, and pine; all three buildings are enclosed within a pole buck and rail fence. A pedestrian gate in the northwest side of the fence leads to the front door of the house; another opening at the southeast side of the fence leads to the garage.

The barn, tack room and chicken coop are located about 100 yards north of the house, directly adjacent to a side channel of the Snake River. Cottonwoods line the edge of the barnyard, and the ponds contain dense stands of willows. A dam in the channel forms a pond, which was accessible to livestock held in the corral east of the barn. The barn, tack room, and chicken coop are connected by a series of post and pole corral fences. The area in front (south) of the barn is practically devoid of shrubby vegetation resulting from years of vehicular and livestock use.

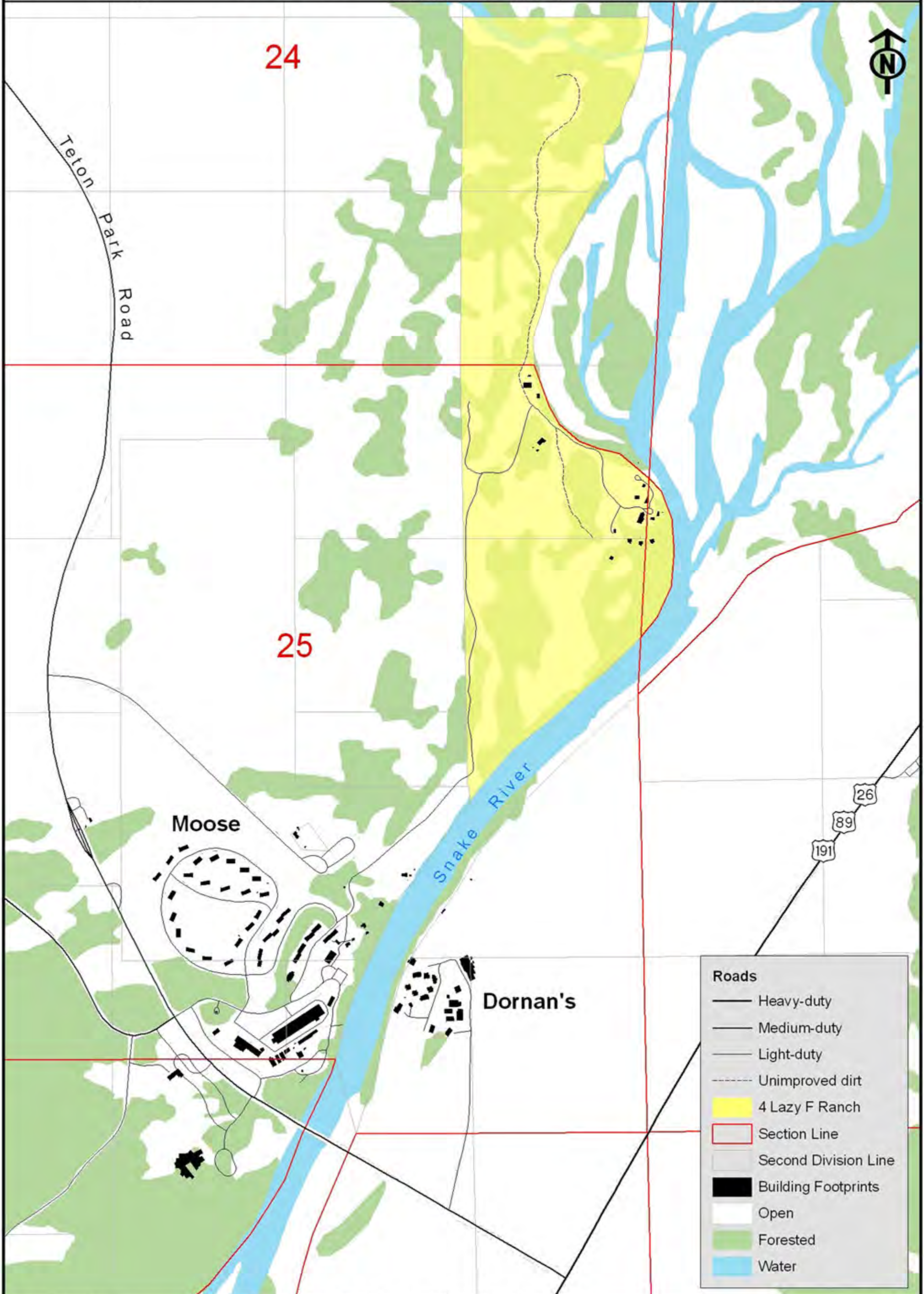
The main irrigation canal runs south, past the west side of the barn and corral, and continues southeast past the rear of the caretaker's house.

Figures 11 through 19 show some aspects of the existing condition of the developed portion of the 4 Lazy F Ranch.



4 Lazy F Ranch

NPS Land Tract 04-151
Section 24 Lots 3 & 4 and Section 25 Lots 1 & 6





4 Lazy F Ranch - Developed Area

FIGURE 10





Figure 11. Looking southeast towards the Lodge through fence surrounding the Lodge building cluster. Source: CRCS 2007.



Figure 12. Looking northwest towards the Teton Mountains, from the main interior access road in front of the Lodge. Source: CRCS 2007.



Figure 13. Looking west towards the expanse of lawn that extends from the three two-room sleeping cabins north to the Lodge. Source: CRCS 2007.



Figure 14. Looking north-northwest towards the Nurse's Cabin. The access lane to the River Cabin is visible in front of the Nurse's Cabin, flanked on either side by blooming arrow leaf balsamroot. Source: CRCS 2007

Figure 15. Looking south towards a wooden footbridge over an unused irrigation ditch between the Nurse's Cabin and the Three-bay Garage. Source: CRCS 2007.



Figure 16. Two-track lane leading from the main entrance road to the River Cabin. Looking east (Source: CRCS 2007).



Figure 17. Looking south toward the caretaker's house and yard. Note the buck and rail fence that encloses the yard. Source: CRCS 2007.



Figure 18. Looking northwest towards the barn and corral. Source: A&E Architects 2007.



Figure 19. Looking east-southeast to the dam and ponds east of barn in the Caretaker's building cluster. Source: CRCS 2007.

Lodge Building Cluster

As stated above, the lodge building cluster contains the majority of the ranch improvements; it contains all of the buildings used to house and feed ranch guests as well as owners and some employees. The buildings are located in a grove of native cottonwood trees on a rocky terrace directly adjacent to the Snake River.

HS-399 4 Lazy F Lodge (Main Cabin)

Exterior Description

The Lodge or Main Cabin at the 4 Lazy F Ranch is a one-story log building joined at the corners with ventral saddle notches (Figures 20 through 22). The building is basically rectangular with a low-pitched intersecting gable roof. The exterior walls are daubed with a Portland cement mixture secured along the bottom with wooden lath stops that are nailed in place. The roof is covered with green rolled asphalt roofing. Door and window openings have plain six inch board trim, all painted light tan. All of the window openings contain wooden sashes (either side-by-side sliding or double-hung) and most have exterior frame screens, held in place with metal toggles.

The front wall of the building faces west towards a spectacular view of the Tetons. This wall is divided into four bays defined by the intersecting gable roof and by the exposed log ends of interior walls. The elevation is dominated by the exposed log truss system of the intersecting gable, which shelters a recessed porch slightly south of center. Each of the twelve log purlins is supported by a vertical log, resting on a large horizontal log support, the ends of which tie in to the exterior walls of the building. The horizontal member is further supported by two vertical log columns that rest on the concrete porch floor. These log columns frame the entrance to the porch, the floor of which is at grade. An entrance with a wooden double-leaf door is centered in the wall and accessed from the porch. The upper leaf contains six fixed lights, and the lower leaf contains two panels. Large openings on either side of the entrance contain two pairs of six-by-six-light sliding windows with wooden sashes. Openings in the north and south porch walls contain entrances to the interior of the building, each with double-leaf doors.

An opening centered in the wall south of the front porch contains a six-by-six-light sliding window. The bay north of the porch contains two window openings, each with a six-by-six-light sliding window. The exterior wall of the northern bay is recessed slightly beneath the edge of the roof; the north edge of the overhang is supported by a log bracket. The exterior wall in this bay has two openings, each with a six-by-six-light, sliding window.

On the north wall of the building, the top of a cobblestone, exterior chimney extends above a shed roof log addition. The addition is offset east of center, and covers the lower part of the chimney. A small shuttered opening is located in the north wall of the addition, and the east wall contains a board-and-batten door. In the L between the log addition and the wall of the main volume, a small frame enclosure with a shed roof encases an exhaust system.

The east (rear) wall of the building also is divided into four bays. The northern bay contains a small recessed entrance porch, which shelters the entrance to the kitchen. The northeast corner of the roof is currently supported by a log column, placed directly on the concrete porch floor. Historical photos appear to indicate that the north wall of the recessed porch was originally solid log. An entrance at the north end of the wall contains a double-leaf wooden door; a window south of the door contains a six-by-six sliding window. A six-over-six-light double-hung window is located in the wall that forms the south wall of the porch. Stairs leading to a partial basement beneath the kitchen is located at the south edge of the porch.

The wall of the bay south of the porch contains one large opening containing six, six-over-six-light, double-hung, windows. None of these appear to have been fitted with exterior screens.

South of the window bay, the bay defined by the edge of the intersecting gable projected past the edge of the recessed porch. This bay is dominated by a massive exterior stone chimney made with river cobbles, which is centered in the gable end. Window openings in the wall north and south of the chimney each contain two, six-by-six-light sliding sashes. The southern-most bay on the east elevation contains a central window opening with a six-by-six-light sliding window.

The south end of the building is divided into two bays by the log ends of an interior dividing wall. Each bay contains an entrance with a double-leaf door and protected by a shed-roofed overhang supported by log brackets. Concrete stoops have replaced the original wooden porch floor that extended the length of the elevation.

HS – 399 4 Lazy F Lodge (Main Cabin)

Interior Description

The interior of the Lodge consists of a central Great Room, two bedrooms to the south of the Great Room and a dining room, living room and kitchen to the north. As you enter the Great Room from the main entrance there is a central fireplace of river stone and a hearth on the east wall. Under the windows on each side of the fireplace is a log bench supported by log columns next to the fireplace and the log wall on each side. The log wall rises above the fireplace, to the peak of the cathedral ceiling. The ceiling structure includes log purlins with boards spanning the purlins. There is a fir floor.

The south log wall of the great room has a paneled wood door that enters into the east bedroom. The east bedroom has a door on the west wall to the west bedroom. Both rooms have log walls, fir floors and log and wood ceilings. Each room has a door to the outside on the south side and the west bedroom has a door on the north side to the main porch. The ceilings have log purlins and the wood ceiling also. The east bedroom has a bathroom addition in the northeast corner of the room with celotex walls and wood battens. The west bedroom has a wood stove and metal chimney in the southwest corner.

On the north wall of the Great Room is a wide opening that leads into the dining room. On the west wall of the dining room is an opening into a small living room area. Both rooms have log walls, open ceilings, and fir floors. On each side of the west wall of the dining room are decorative wall sconces. On the south wall of the living room is a wood paneled door to the front porch. On the north side of the dining room is a door to the kitchen.

The kitchen runs the full width of the Lodge and has sheetrocked walls and ceilings and vinyl floor. There is a large cook stove on the north wall and an exhaust hood with a small fire suppression system above. There are wood cabinets on the west side of the stove and on the south and east walls. A wood door on the east side of the stove enters into the pantry and there is a door to the outside in the northeast corner of the room. The pantry is a log addition that surrounds the stone chimney on the north end of the Lodge. There is also a door to the outside on the east side of the room.

There is minimal general lighting in the kitchen and the walls sconces in the dining room. There is no built-in lighting in the other spaces. There is no heating system other than the stoves and fireplace.

There is a concrete basement under the kitchen area that is accessed from the porch on the east side of the kitchen.

Condition

The Lodge is generally in good condition with some exceptions. On the exterior of the building there are rotted areas in the log sills because of soil accumulating around the base of the building. This mostly occurs on the east side of the building especially around the fireplace chimney and the dining room area, but is also a problem on the southwest corner of the Lodge. There is also some soil built up around the base of shed roof addition on the north side and it appears that the building has settled on that side. There is some roofing deterioration along the valleys on each side of the chimney and water flows down on the logs causing some surface rot in the walls at those points. There is some soffit damage along the gable end on the west side. The chimney has some mortar deterioration and the flashing needs some work on both chimneys.

The log walls are dry and checked but the daubing is generally in good condition. The dry wood appears in the soffits and underneath the porch roof. The windows are in good condition with some minor weathering. The paint on the windows and doors appears to be holding up very well.

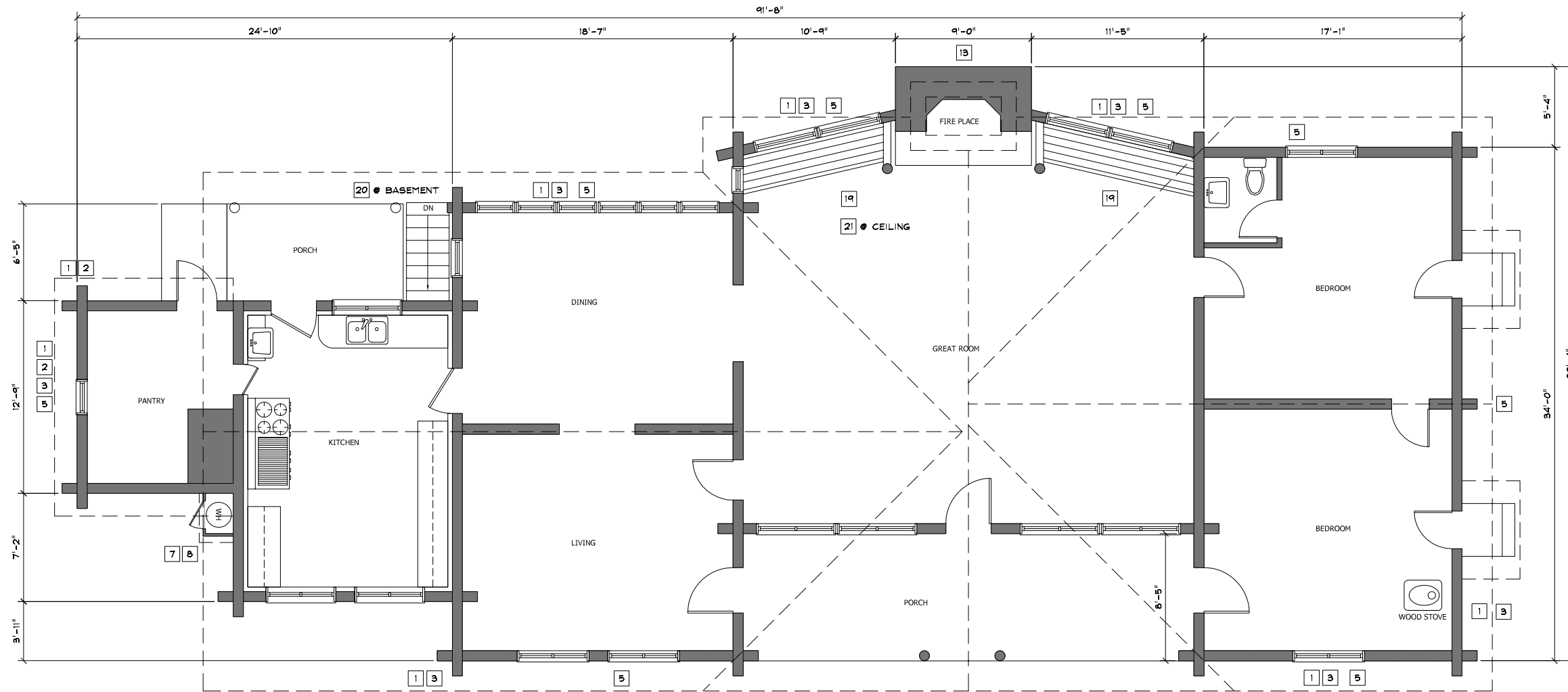
The interior of the building is in good condition. The floor in the Great Room seems to have settled somewhat in all four directions even though this does not appear on the outside. Because the floor is in good condition with the exception of the bulge it was determined to not do any investigative demolition until such time as the building is renovated for use. The floor would have to be opened up to determine the floor structure and find the reasons for the bulge. Anything else would be speculation. The fir floors are in good condition with some minor wear and loss of the finish. The log walls, windows and doors are good. There are some ceiling stains in the great room because of bats that have been getting into the rafter spaces between the roof material and the ceiling material in the cathedral ceiling. Because of the large spans of the beams and purlins, most of the roof structure in many of the rooms needs to have supports added in the winter because of the potential high snow load in the area. The structure was not designed to meet those codes.

The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

Figures 23 through 48 show the existing condition of the exterior and interior of the Lodge.

CONDITION KEY NOTES

1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



PLAN



MAIN LODGE - HS-399

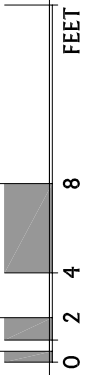
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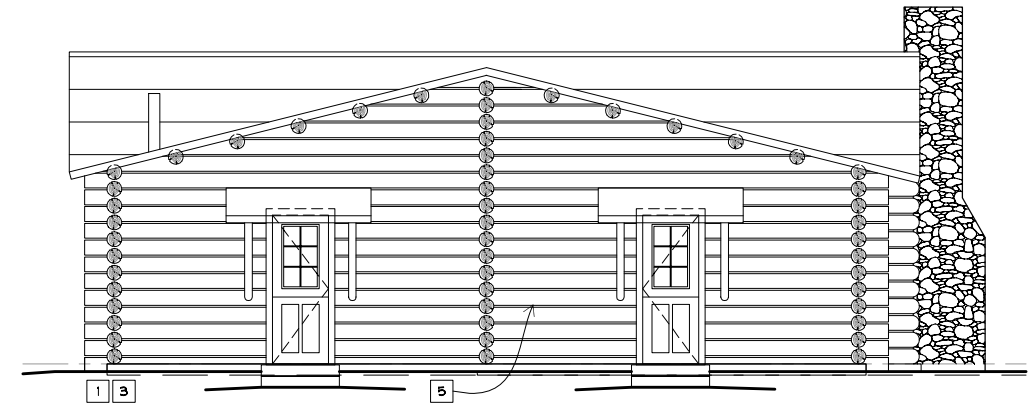
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FIGURE

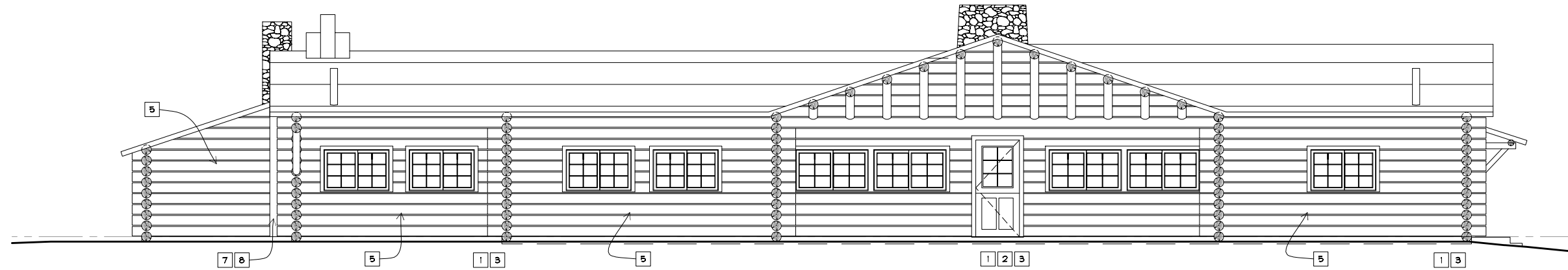
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CONDITION KEY NOTES

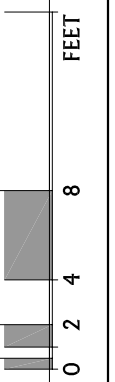
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13	WEATHERED AND ROTTED SCREEN DOORS		



9 SOUTH ELEVATION



16 WEST ELEVATION



MAIN LODGE #399

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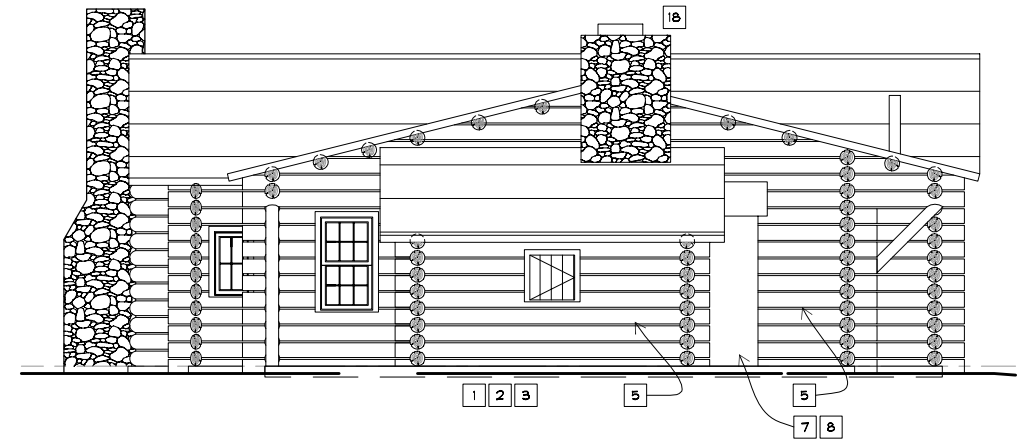
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FIGURE

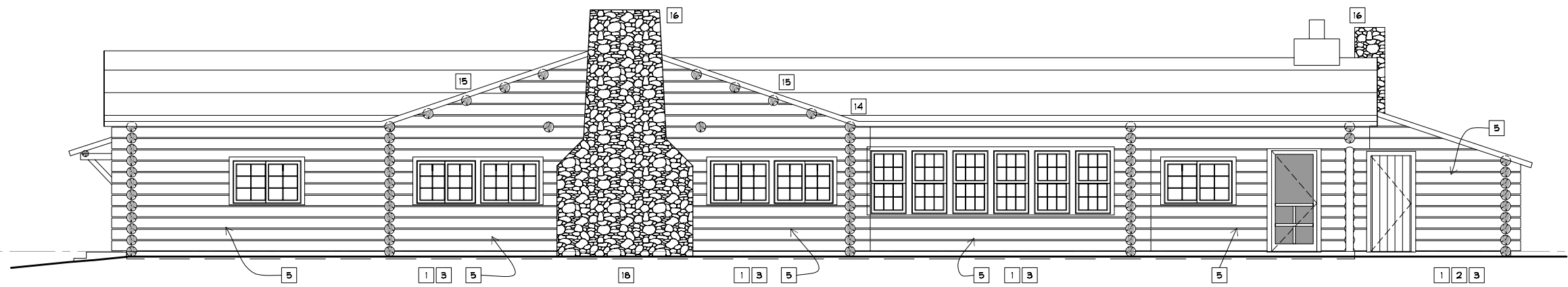
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CONDITION KEY NOTES

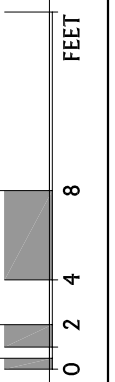
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9 NORTH ELEVATION



16 EAST ELEVATION



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FIGURE

22

HS – 399 4 Lazy F Lodge (Main Cabin)



Figure 23. Looking east at the façade of the Lodge. The building is generally in good condition.



Figure 24. Looking east at the main entrance to the Lodge and the gable roof with the log structure.



Figure 25. Looking east at the main entrance door which is in good condition.



Figure 26. Looking east at a typical set of wood sliding windows in the entrance porch area.



Figure 27. Looking north at a door into the living room from the front porch. Note the roof structure is in good condition.



Figure 28 – Looking east at a typical log wall on the west side of the Lodge. The logs are very dry and there is some surface rot on the bottom logs and under the valley areas where water drains onto the logs. The concrete foundation appears to be in good condition. The grade around does not slope away from the building so there is no positive drainage.



Figure 29 – Looking northeast at a typical corner of the Lodge. Note the rotted bottom logs and the soil that has accumulated against the log ends. Also note the concrete vent to the crawl space that allows air under the building.



Figure 30 – Looking southeast at the Lodge with the added shed roof structure that surrounds the stone fireplace. This shed roof structure has settled because of rotted base logs and has pulled away from the Lodge wall and fireplace. Also note the water heater addition on the building which is also rotted at the base.



Figure 31 – Looking southwest at the back porch area. The stone chimney over the shed roof addition has some missing mortar and the flashing around the chimney is poor. The sheet asphalt roof has some damage.



Figure 32 – Looking southwest at the dining room wall and typical wood double-hung windows. The windows are in good condition. The log walls are dry but the daubing is good.



Figure 33 – Looking south at the intersection of the dining room and great room walls. Note the soil that has accumulated on this side of the building and the rotted base logs. Also, note the damaged sheet asphalt roof.



Figure 34 – Looking west at the log wall of the great room with the stone chimney. There are some rotted base logs especially at the intersection of the bedroom and the great room. The roof is damaged in this area and there is some separation of the logs and stone chimney.



Figure 35 – Looking west at the bedroom wall. Note the rot in the lower base logs and soil around the base of the building in this area.



Figure 36 – Looking north at one of the typical shed roofs over the exterior doors in the bedrooms. Note the damaged sheet asphalt roof.



Figure 37 – Looking northeast at the Lodge building. Note the soil accumulation which has contributed to the rotted sill logs and base log at the corner.



Figure 38 – Looking west at the basement under the kitchen. Note the concrete walls and floor and the added supports for the kitchen floor. There are some water stains on the concrete from some water penetration into the wall.



Figure 39 – Looking east at the stair to the exterior from the basement.



Figure 40 – Looking east at the fireplace and log work in the great room of the Lodge. Most of the woodwork and log work is in good condition. The fir floor is in good condition with the exception that there is a bulge in the center, which appears to have been caused by the outer log walls settling. This is not evident in the other rooms.



Figure 41– Looking north at a typical wall and wood paneled door in the great room.



Figure 42 – Looking north at the added bathroom in the east bedroom of the Lodge. The materials are in good condition.



Figure 43 – Looking southwest at the west bedroom and its wood stove and chimney. The materials are in good condition.



Figure 44– Looking north from the dining room towards the door to the kitchen. The materials are in good condition.



Figure 45 – Looking west at one of the walls sconces in the dining room. It appears to be original to the building.



Figure 46 – Looking north at the cook stove in the kitchen. The walls and ceiling have been sheetrocked and there is a fire suppression system in the hood. There is a vinyl floor.



Figure 47– Looking south along some of the 1960's cabinets in the kitchen.



Figure 48 – Looking north at the door to pantry and the door to the right which exits to the back porch.

A three-bay garage is located north of the Lodge, on the north side of the main access road into the Lodge building cluster. It is a one-story log building joined at the corners with ventral saddle notches (Figure 49). It has a concrete foundation wall and a concrete slab floor. The side gable roof has exposed log rafter ends and is covered with green, rolled asphalt. The south (front) wall of the building is open—the edge of the roof supported by two vertical log columns. The east and west sides each have two six-light wooden sashes nailed in place, centered within the wall.

The interior walls are chinked with whole poles, nailed in place. A thin concrete floor has been laid inside the building.

Condition

The Garage is in fair condition. The log walls are dry and checked. There is rot in the sill logs because of the soil that has built-up around the base of the building on all three enclosed sides. The daubing is very poor throughout all of the walls. The sheet asphalt roof is in good condition with some minor edge damage. The windows have also lost all finish and have dried out with some of the glazing in poor condition. The wood has weathered and there is some dry rot.

The thin layer of concrete that was laid down on the inside is broken up and some of it is missing. The two logs columns in the opening of the garage are not supported very well at the base, therefore the bases have some rot and are partially buried in the ground.

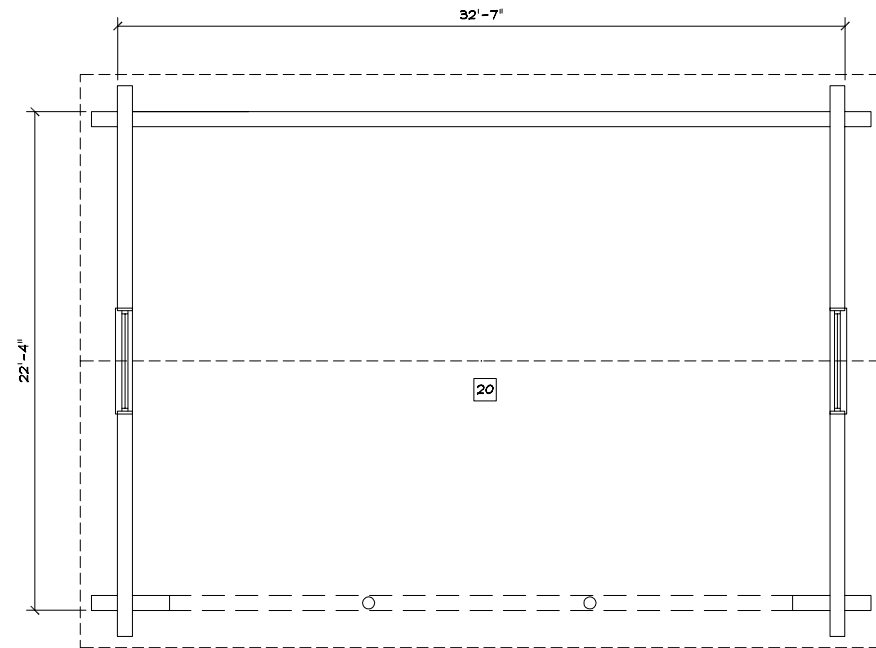
The general structure of the building appears to be good.

There are no mechanical or electrical systems in the building.

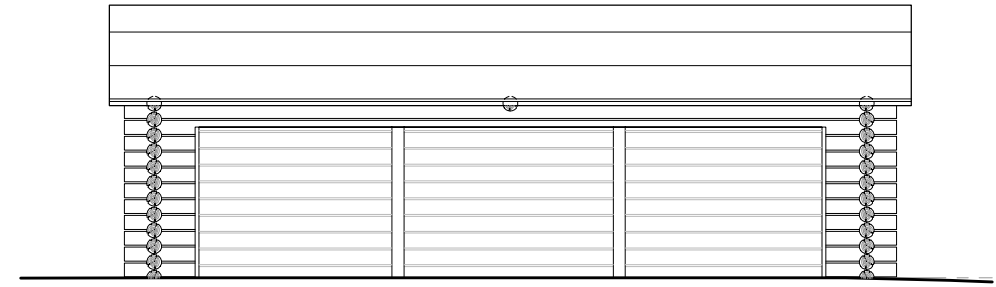
Figures 50 through 56 show the existing condition of the three-car garage.

CONDITION KEY NOTES

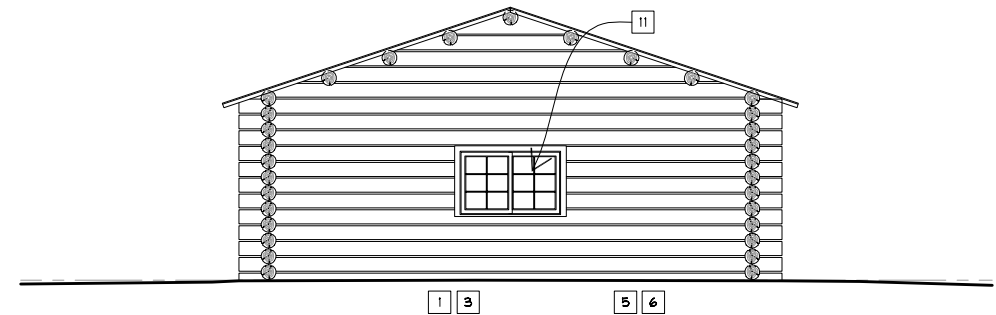
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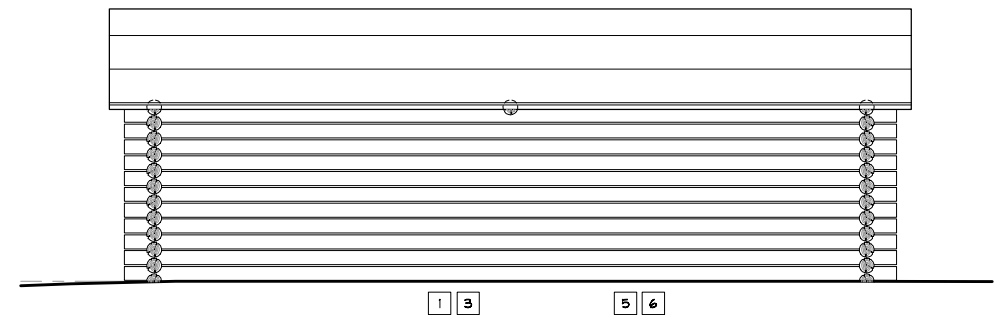
16 PLAN



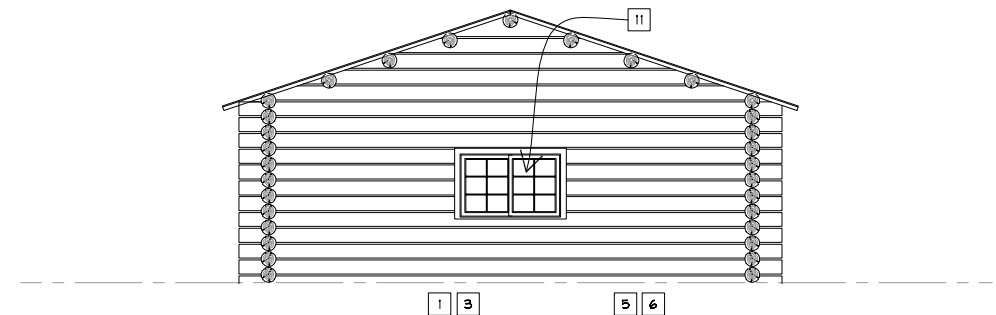
4 SOUTH ELEVATION



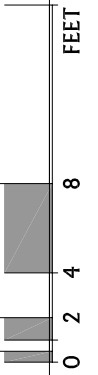
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



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FIGURE

49



HS - 403 Three-Bay Garage
Exterior Photos

Figure 50 – Looking northwest at the front of the three-bay garage. The logs are generally in good condition but are dry and there is some rot in the base logs. The roof is in good condition.



Figure 51– Looking northwest at one of the front wall columns that appears to have been replaced. The base concrete is very minimal.



Figure 52 – Looking southeast at the garage. Note the soil accumulation around the building, which is causing some rotted sill logs.



Figure 53 – Looking west at the wood window sash on the east side of the garage. The glazing is deteriorated and the wood is dry. The sill has some rot.



Figure 54 - Looking west at the base of the east wall. Note the soil accumulation and the rot in the sill log. The daubing is poor.

**HS-403 Three – Bay Garage
Interior Photos**



Figure 55 – Looking northwest at the interior. The logs are missing some daubing and the thin concrete floor is broken up.



Figure 56 – Looking east at the roof structure and the supports in the middle section of the roof. Note the sag in the roof logs.

The River Cabin is located at the north end of the Lodge building cluster, overlooking the main channel of the Snake River. A vehicular access road branches from the main access road and runs north and then northwest past the front of the cabin, ending in a loop turn-around.

The River Cabins is a rectangular, one-story log building with a front gable roof, set on a concrete block foundation wall (Figure 57). The wall logs are joined at the corners with saddle notches and chinked on the exterior with split poles. The side-gable roof is covered with green rolled asphalt; a metal stove pipe extends from the northeast corner of the roof and a metal vent from the middle of the west edge.

The front (northeast) wall contains an open shed-roof porch along the entire wall. The porch is accessed from wooden stairs with railings made of dimensional lumber. The five peeled log columns that support the roof sit directly on the porch floor. The porch shelters an entrance with a vertical tongue and groove door, offset right of center. This entrance is paired with a wood-frame screen door. A large fixed picture window is located to the left of the entrance.

The west and east side walls each have a single window opening. The east side opening contains three, six-light wooden sashes; the center sash is fixed and the two end sashes open casement style. A shed roof awning supported by log brackets shelters the window in the east wall. The west side opening contains two, four-light casement windows.

HS – 400 River Cabin**Interior Description**

The interior of the River Cabin contains a living/bedroom, a bathroom, an enclosure for a hot-water heater and a small closet in the southwest corner. In addition, a small, closet with a cloth curtain has been framed-in in the northwest corner of the interior. Knotty pine has been used for the interior room walls. The interior log walls are chinked with split poles, and the ceiling is left open to expose the log purlins and board sheathing. The floor is fir. The bathroom contains a tub with a ceramic tile surround, a toilet and a sink. Linoleum covers the floor and green plastic tile covers the lower portion of the wall behind the sink and toilet.

Condition

The River Cabin is in good condition with some minor exceptions, The building sits high on a good foundation and most of the logs are in good condition although dry with some checking. However, there appears to be some dry rot on the surface of some of the logs on the south side and a parging material has been applied to the sill log on the west side. Since the weather comes from the southwest it appears that snow has lain against the building on that side and caused some rot. Also on the interior there are water stains on the south wall in the first three logs that suggest that water has penetrated through the daubing at that point, probably from melting snow.

The roof is in good condition but the structural elements of the shed porch roof appear to be a minimum support and therefore additional supports are added to help the structure because of snow loads in the area. The windows and doors are in good condition with some minor sill deterioration and weathering.

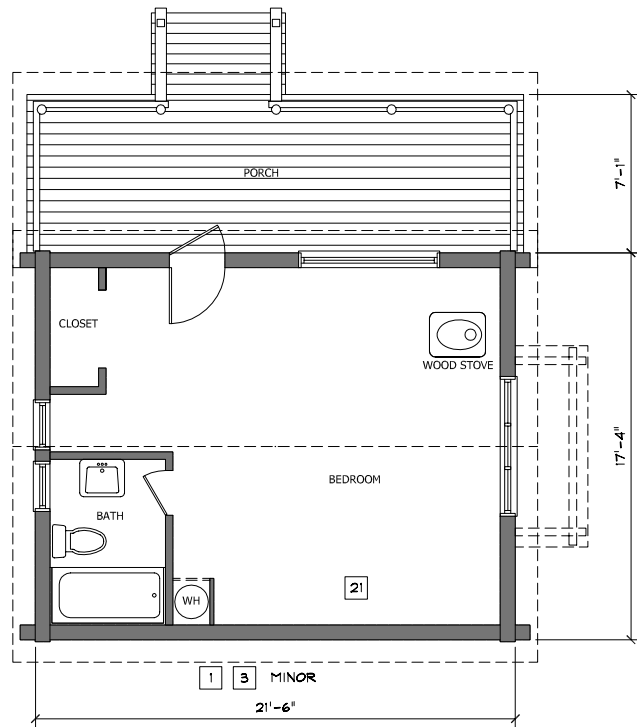
The interior of the cabin is in good condition with the exception of the water stains on the lower portion of the south wall.

The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

Figures 58 through 66 show the existing conditions of the River Cabin.

CONDITION KEY NOTES

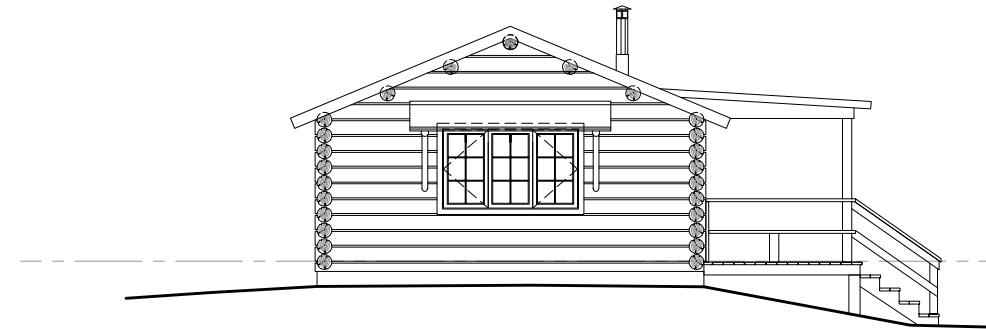
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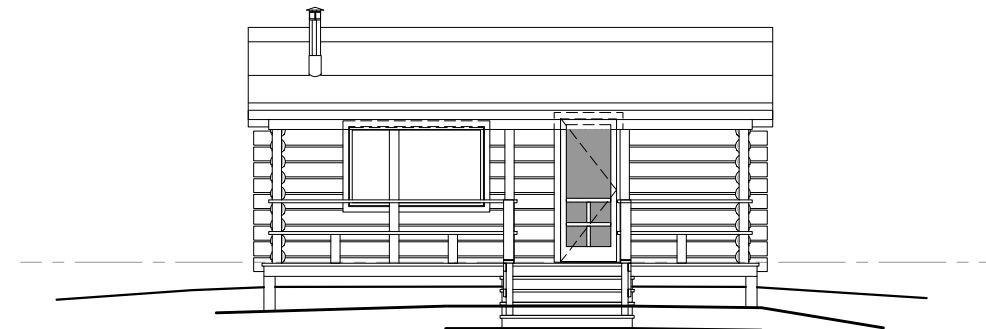
16 PLAN



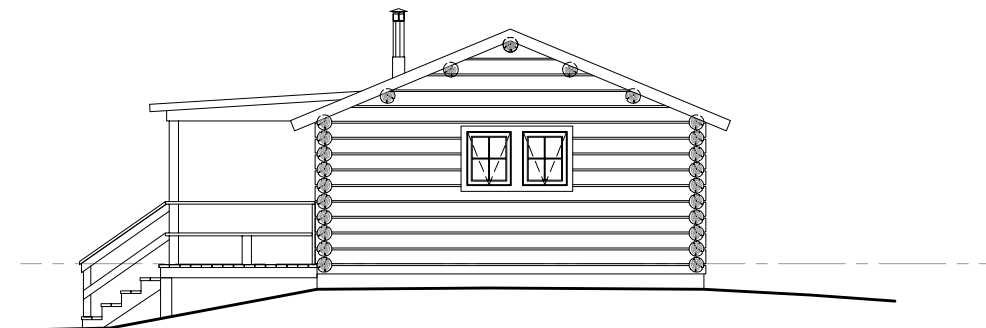
4 SOUTH ELEVATION



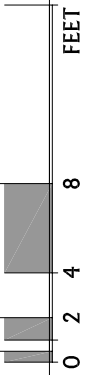
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



RIVER CABIN #400

4 LAZY F RANCH
GRAND TETON NATIONAL PARK, WYOMING

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FIGURE

57



HS-400 River Cabin
Exterior Photos

Figure 58 – Looking south at the front porch and entrance to the cabin. The cabin is in good condition and sits up on a good concrete foundation.



Figure 59 – Looking south at the main entrance door and screen door. They are in good condition.



Figure 60 – Looking northwest at the cabin. Note the shed roof over the window. The window is in good condition with some minor sill rot.



Figure 61– Looking northeast at the cabin. Note some surface rot in the sill logs.



Figure 62 – Looking north at a base detail of the cabin. It appears that the sill log has been replaced with a concrete surface that is rounded like a log. Note the vent area to the crawl space.

HS-400 River Cabin Interior Photos



Figure 63 – Looking northwest at the front door and closet. The materials are in good condition.



Figure 64 – Looking northeast at the wood stove and window area (possible asbestos heat shield behind wood stove).



Figure 65 – Looking southeast at the back wall of the cabin. It appears that there has been some water penetration into the back wall as the base logs are stained.



Figure 66 – Looking west at the bathroom. Note the sheetrocked walls with tile wainscot.

The Curing House is located in a wooded thicket north of the River Cabin. This structure consists of a simple dimensional lumber frame with a gable roof, built on grade (Figure 67). The roof is covered with boards. The bottom quarter of the exterior walls is enclosed with wood boards, applied horizontally. On the inside of the structure, another screen-covered frame enclosure apparently was meant to hold meats for curing.

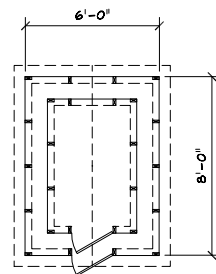
Condition

The Curing House is in poor condition. Most of the wood materials are weathered and rotted. The support on the base has moved out, causing some tilt to the structure. The screened areas are damaged and there is no roofing material on top. There are no electrical or mechanical systems in the building.

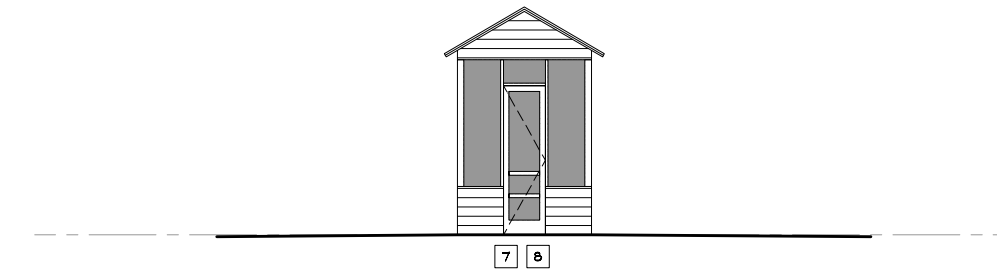
Figure 68 shows the existing conditions of the Curing House.

CONDITION KEY NOTES

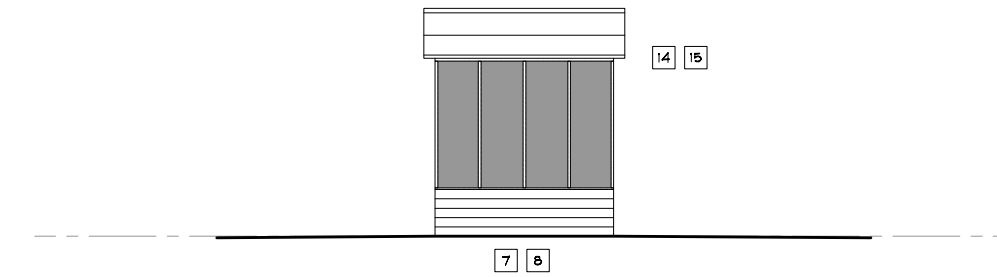
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



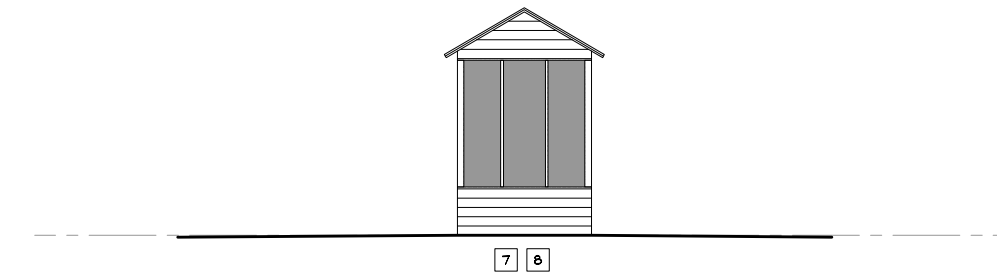
16 PLAN



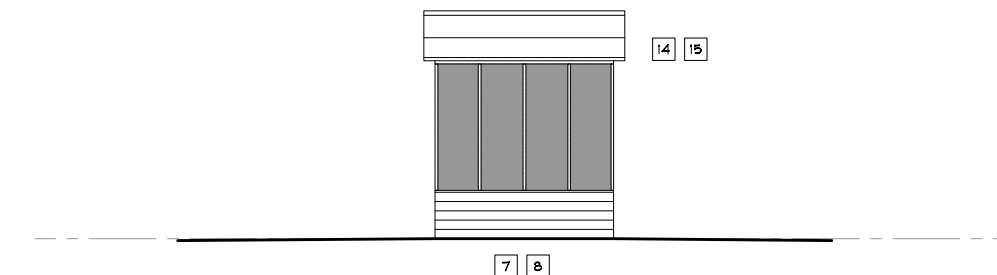
4 SOUTH ELEVATION



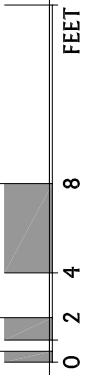
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



CURING HOUSE #400A

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FIGURE

67





Figure 68 – Looking south at the Curing House. The screen is damaged and most of the wood is rotted. There is no roof covering on the building.

The Nurse's Cabin is located directly east of the garage. The access road that leads to the River Cabin passes the front of the building which faces east towards the river. Originally two separate log buildings, the area between the two has been framed in to create a bathroom (Figure 69). All three volumes have shallow gable roofs covered with green rolled asphalt.

The southern log volume is one story with a side gable roof with exposed log purlins. Wall logs are joined at the corners with ventral saddle notches, and the exterior daubed with a Portland cement mixture held in place at the bottom with wooden lath stops. The front (east) wall has a central doorway with a five-panel wooden door and a wood frame screen door. A board stoop in front of the entrance is covered with a shed-roof overhang the front edges of which are supported by two log columns. The south wall has a central six-by-six-light sliding window centered in the wall and paired with a wood frame exterior screen. Door and window openings are trimmed with plain boards.

The center frame component is covered on the exterior with vertical boards and battens. At the south side, the eave of this component attaches to the north wall of the south log volume, below the latter's eave. There is no exterior access into the central volume, rather, its front and rear walls each have two, six-light hopper windows, paired with exterior wood-framed screens.

The north log volume is almost identical to the south volume. The exception is that its side window is located in the north wall. Also, a metal stove pipe extends above the roof near its northeast corner. The south eave of this volume attaches to the north wall of the central component below the latter's eave line

HS-401 Nurse's Cabin (Cook/Cabin Girl Cabin)**Interior Description**

The interior of the Nurse's Cabin contains two bedrooms, one in each of the two log volumes, and a bathroom and closets in the frame connecting space. The interior walls of the south bedroom are chinked with split poles nailed in place and varnished. The log purlins are exposed in the open ceiling, but Celotex has been applied to the spaces between the purlins. The board floor is painted. A doorway with a flush hollow-core door in the east end of the north wall leads to the connecting room. A plywood built-out closet projects from the wall to the west of the doorway.

In the frame connecting structure a hallway extends across the east wall to connect the two bedrooms. In addition to the hallway, the connecting structure contains a bathroom and a storage area with built-in closets. The walls and drop ceiling of this volume are sheet-rocked and painted, and the floor is covered with sheet vinyl. Doors and windows have beveled trim, stained a light brown. The bathroom has wood vanity with a ceramic sink, a toilet and a tub/shower. Pink plastic tile covers the lower part of the wall behind the fixtures.

The walls of the north bedroom are covered with knotty pine boards; the ceiling is open to the log purlins with Celotex applied between the purlins. The board floor is painted. A small wood stove on a sheet metal hearth is located in the northeast corner of the room, north of the exterior door.

Condition

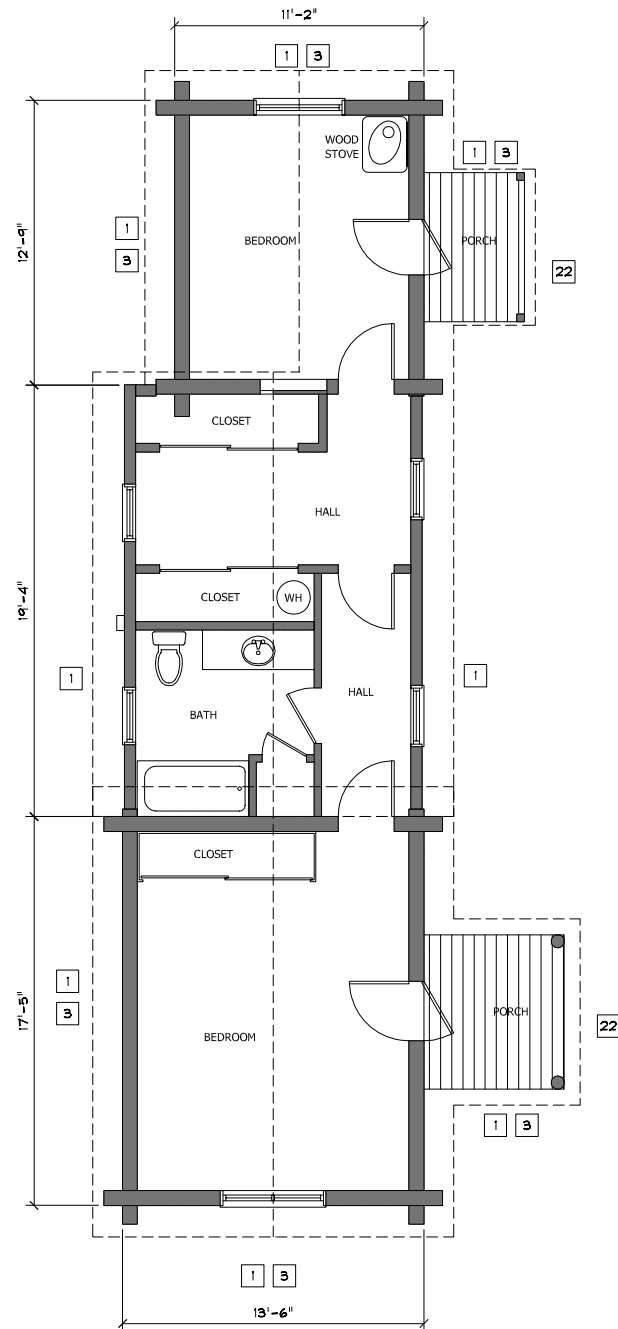
The nurses' cabin is in fair to good condition generally. The log walls are dry and checked, and the sill logs in most cases are rotted because of the soil that has built up around the cabin. There is some settlement of the original log volumes in the northeast and southeast corners due to the sill log deterioration. The daubing is in good condition with some minor areas of missing daubing. The board and batten siding of the infill addition also has some rot in the base on the east and west sides because of soil build-up. The siding is also dry and there is some dry rot. Some of the boards and battens are curling.

The wood windows are weathered and checked. The roof is in good condition except at the intersections of the infill roof and the walls of the original cabins. There appears to be a heavy layer of caulking and the flashing does not work properly to drain the water away from the vertical surface. The interior is in good condition. The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

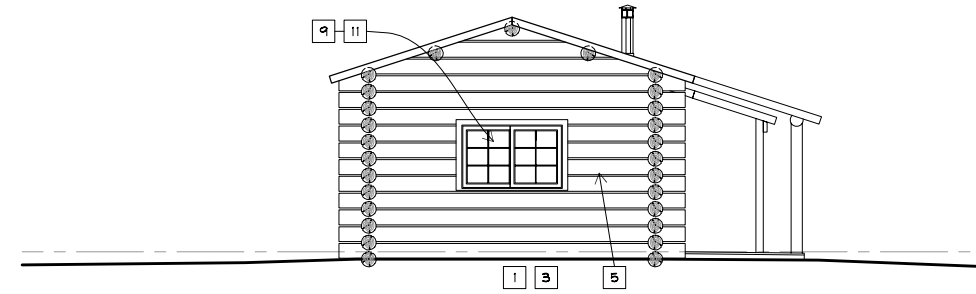
Figures 70 through 81 show the existing conditions of the Nurses' Cabin

CONDITION KEY NOTES

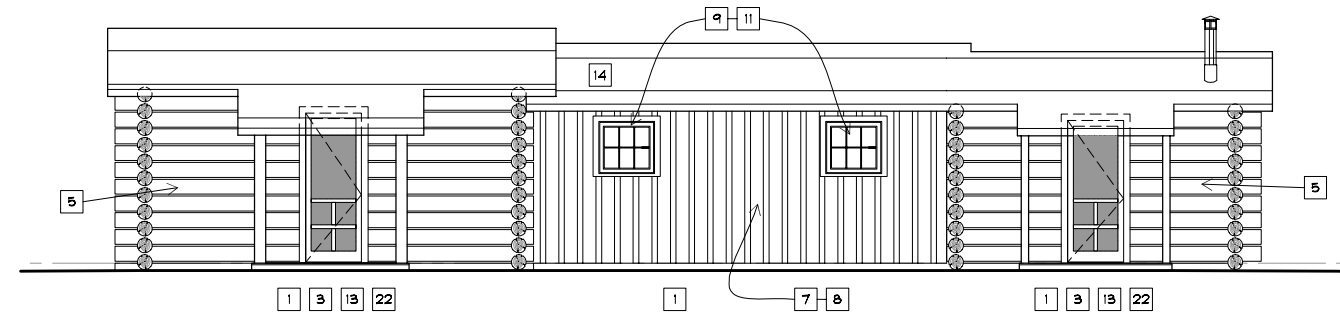
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



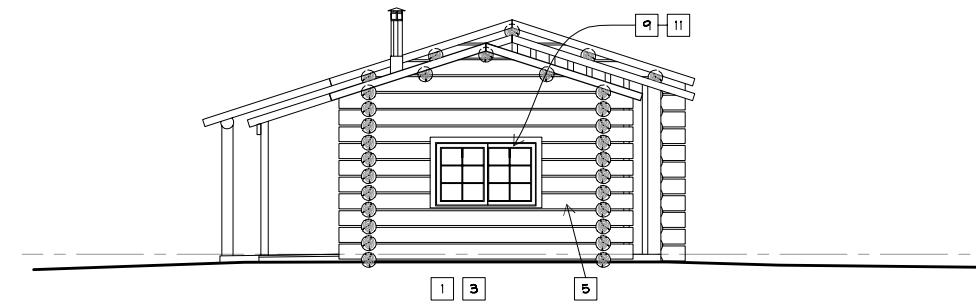
16 PLAN



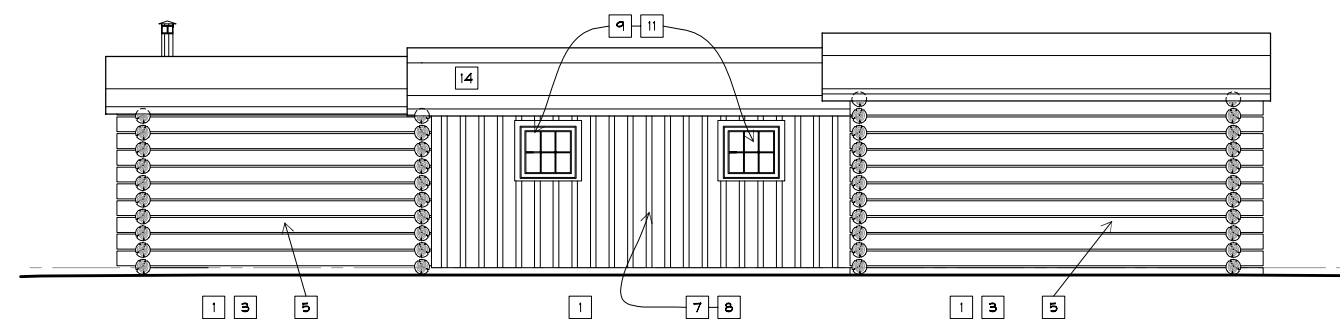
3 SOUTH ELEVATION



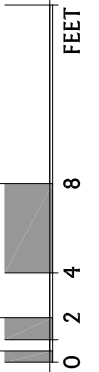
8 EAST ELEVATION



13 NORTH ELEVATION



18 WEST ELEVATION



NURSE'S CABIN # 401 & 402

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FIGURE

69



Figure 70– Looking northwest at the cabin. The building is generally in good condition with the exception of rotted sill logs and base of the frame structure. Soil has built up around all sides of the building.



Figure 71 – Looking northwest at the log cabin on the south end of the building. Note the sag in the base due to rotted sill logs.



Figure 72 – Looking at a typical wood sliding window on the cabin. The glazing is poor and the wood is dry. There is some rot in the sill.



Figure 73– Looking at the center wood frame structure that connected the two log cabins. The wood is very dry and the base is rotted due to soil build-up around the building.



Figure 74– Looking south at the connection between the log cabin and the wood frame connecting rooms. Note the different roof planes and the water penetration into the corner.



Figure 75 – Looking southwest at the log cabin on the north end of the building. It also has some sagging on the back corner because of the rotted sill logs caused by soil build-up around the base of the building.



Figure 76 – Looking southwest at the log work and Celotex ceiling of the south bedroom. The interior appears dry.

Figure 77 – Looking north at the closet and doorway to connection from the south bedroom.



Figure 78 – Looking at the bathroom in the connection piece. The materials are in good condition.



Figure 79 – Looking north at the hallway connecting the two log volumes. The sheetrock walls and ceiling and vinyl floor are in good condition.



Figure 80 – Looking west at a typical closet in the connecting area of the cabin.



Figure 81 – Looking northeast at the wood stove and wood paneled exterior door in the north bedroom (possible asbestos heat shield behind wood stove).

The building most recently referred to as George's Cabin, was originally built as the communal bathhouse. Located almost directly east of the Lodge, this building consists of two volumes—the original rectangular log component and a frame addition of roughly the same size (Figure 82). Both volumes have front-gable roofs, covered with green rolled asphalt roofing. The front of the building faces west towards the interior access road.

The log component is joined at the corners with ventral saddle notches, and the exterior walls are daubed with a Portland cement mixture secured at the bottom with lath stops. The exterior walls of the frame component are covered with vertical boards and battens. The original volume is built on concrete piers; the frame addition on a concrete foundation wall.

The only exterior entry in the building is located in the west wall of the frame volume—the southern of the two components. Accessed from a board stair, the entrance contains a wood paneled door. A window opening is centered in the wall to the south of the entrance contains a wood sliding sash. The front wall of the log component has a centered window opening with a six-by-six-light sliding wooden sash. The windows in this volume are trimmed with log slabs.

On the rear (east) wall, each volume has one window opening in the center of its wall, containing a six-by-six-light sliding wooden sash paired with a wood-frame exterior screen. A small frame enclosure at the east edge of the north wall of the log component contains a water heater. It has a shed roof with boards and battens on the exterior walls. A board and batten door provides access to the interior, and a galvanized metal vent pipe extends from its roof.

HS-404 George's Cabin (original bathhouse)**Interior Description**

The interior of the frame component contains a small entryway opposite the door with a narrow linen cabinet. A bedroom with a built-in closet is located south of the entryway. Interior walls are covered with knotty pine sheet paneling and the floor with sheet vinyl; the dimensional lumber purlins and board sheathing are exposed in the open ceiling. Both closets and the opening from the entryway to the bedroom have flush hollow-core wooden doors.

From the entryway, a five-panel wooden door leads to the interior of the log component which contains a bathroom with a ceramic sink and toilet and metal shower stall. The interior walls are daubed with a synthetic mixture and chinked with split poles. The ceiling is open to expose the log purlins and board sheathing of the roof structure. Log slabs are used as trim on the interior windows. This room also has sheet vinyl flooring, but of a different pattern than the frame component.

Condition

George's' cabin is in good condition generally. The log walls are dry and checked, and the sill logs in most cases are rotted because of soil build-up on the west, north and east sides of the cabin. The daubing is in good condition with some minor areas of missing daubing. The board and batten siding of the addition also has some rot in the base on the east side because of the soil that has accumulated against the base of the building. The siding is also dry and there is some dry rot. Some of the boards and battens are curling. This also occurs on the water heater addition on the north side of the cabin.

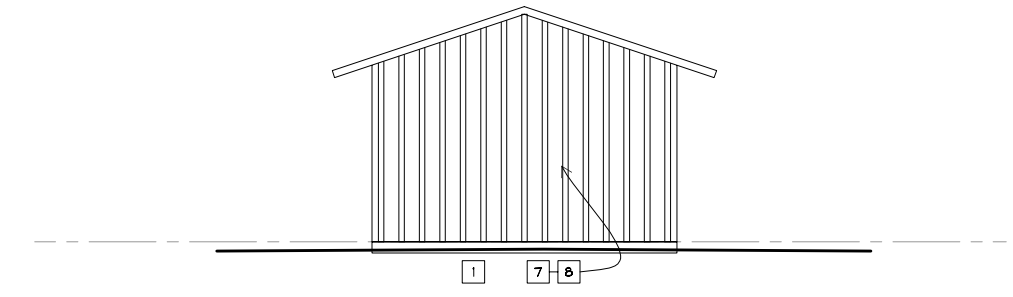
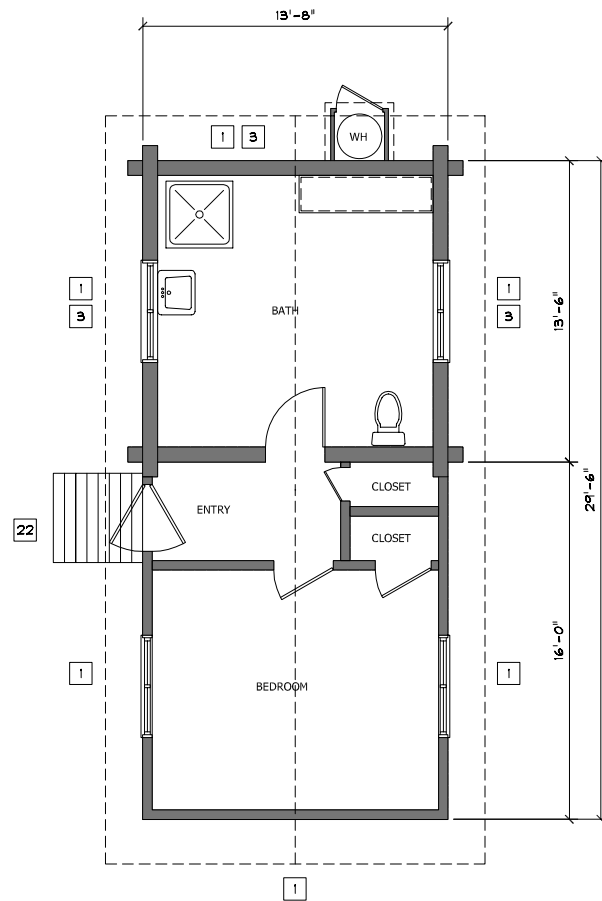
The wood windows are weathered and checked. The roof is in good condition. The minimal electrical system as well as water and sewer have been abandoned.

The interior is in good condition. The existing systems would not be adequate for potential new uses.

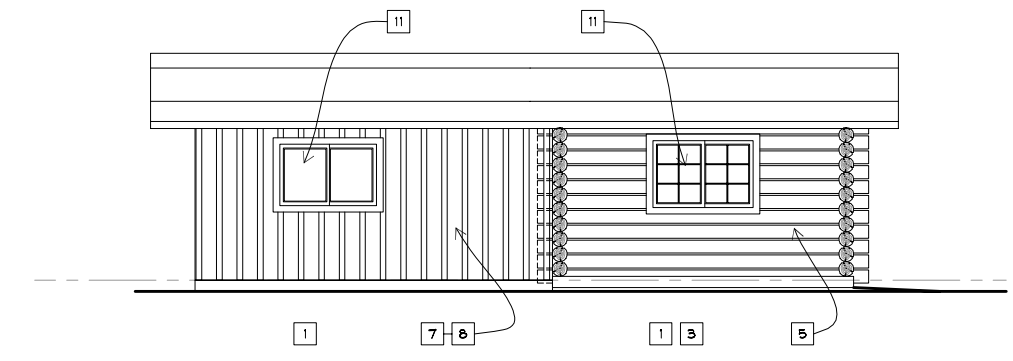
Figures 83 through 90 show the existing conditions of George's Cabin.

CONDITION KEY NOTES

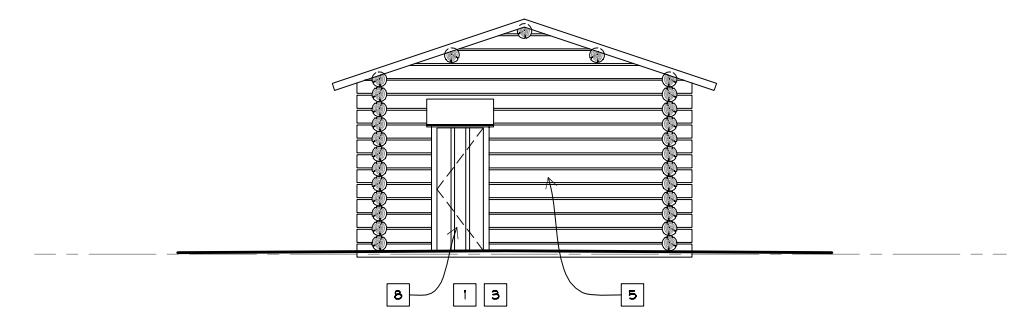
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



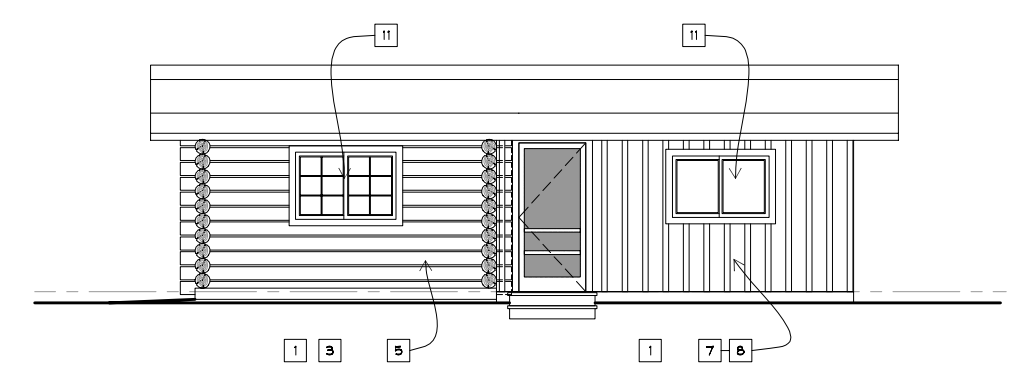
4 SOUTH ELEVATION



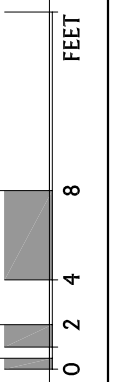
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



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GEORGE'S CABIN #404
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FIGURE
82

16 PLAN

HS-404 George's Cabin (original bathhouse)
Exterior Photos



Figure 83 – Looking northeast at the cabin and at the frame addition to the log cabin on the south side. Note the dry wood on the addition. The roof appears to be in good condition.



Figure 84 – Looking east at the entrance door to the wood frame addition. The porch and base of the addition and logs have some rot.



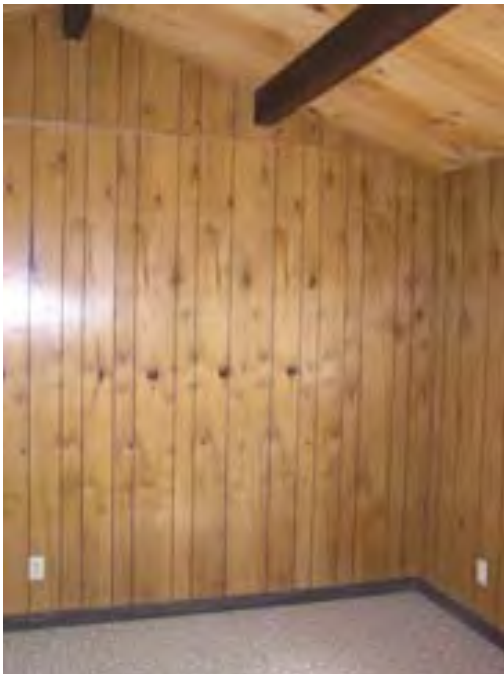
Figure 85 – Looking southwest at the log cabin portion of the building. Note the soil build-up around this end of the building which is causing the sill logs to rot.



Figure 86 – Looking west at a typical window in the log cabin. Note the dry logs and dry wood around the window. The daubing is generally in good condition with some minor missing daubing.



Figure 87 – Looking northwest at the frame addition to the building. Most of the addition sits up on the concrete foundation but the grade is poor on the east side.



**HS-404 George's Cabin (original bathhouse)
Interior Photos**

Figure 88 – Looking south at the interior of the frame addition. Note the knotty pine sheet paneling and milled purlins on the ceiling.



Figure 89 – Looking north at the connecting hallway and door to the bathroom in the log cabin portion of the building.



Figure 90 – Looking northwest at the bathroom on the interior of the log cabin.

The smoke house is located slightly northeast of George's Cabin. This is a small frame building with a front-gable roof, built on grade (Figure 91). Vertical boards cover the exterior walls and the roof is covered with green rolled asphalt. A board door in the southwest wall provides access to the interior of the smokehouse. At the bottom of the northeast wall a piece of stove pipe connects the smoke house to a firebox. The firebox is made of red brick with a metal door in its northeast end.

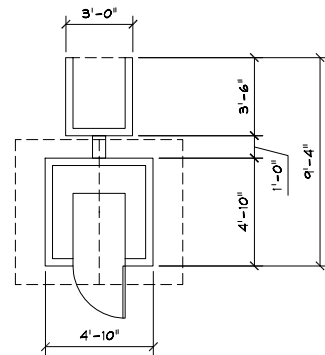
Condition

The smoke house is in fair condition with most of the vertical board siding weathered and cracked. There is some rot in the base because of the soil that has built-up around the base of the building. The roof is good but some of the wood edge pieces on the gable ends are splintered. The door is in poor condition. The brick firebox is starting to deteriorate on the east side where some of the bricks and mortar are coming loose. The interior is similar. There are no electrical or mechanical systems in the building.

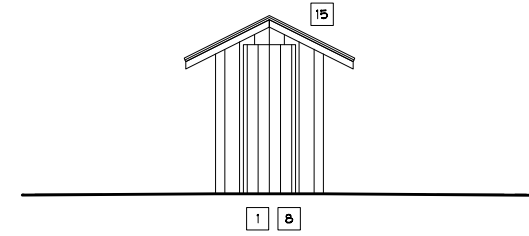
Figures 92 through 94 show the existing conditions of the Smoke House.

CONDITION KEY NOTES

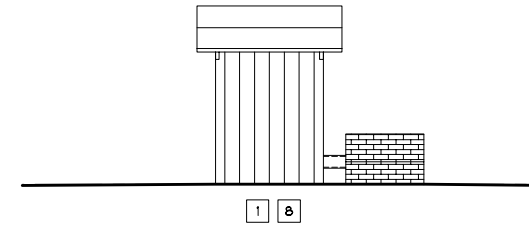
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
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13	WEATHERED AND ROTTED SCREEN DOORS		



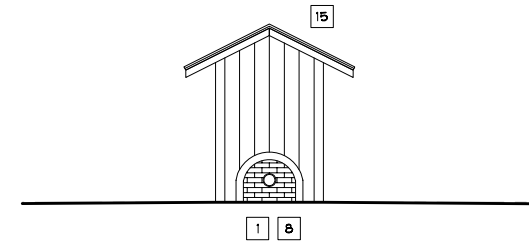
16 PLAN



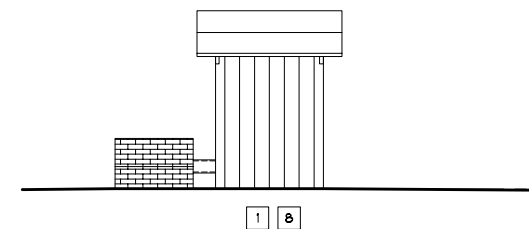
4 SOUTH ELEVATION



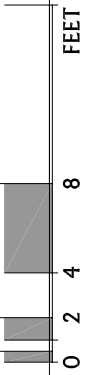
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



SMOKEHOUSE #404A

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FIGURE

91



HS – 404A Smoke House
Exterior Photos

Figure 92 – Looking northwest at the smokehouse. The wood on the walls is very dry and there is some rot on the base of the building where soil has built up around the base of the structure. The door is in poor condition.

Figure 93 – Looking south at the smokehouse. The brick firebox is starting to break apart on the end closest to the building. Some mortar is missing. Note the weathered boards on the back of the building.



HS-404A Smoke House Interior Photos



Figure 94 – Looking north at the interior of the smokehouse. The wood interior is also deteriorating.

The original ice house is located directly east of the Lodge, adjacent to the south side of the main access road. This is a small, log building with a shallow, front gable roof, built on a concrete foundation wall (Figure 95). The exterior walls are daubed with a Portland cement mixture, held in place with wood lath and the roof is covered with green rolled asphalt.

The front of the building faces north onto the access drive. A central doorway with a diagonally braced, board and batten door is accessed from a board stoop. The heavy door has a screened opening in the top half, and is hung with heavy strap hinges affixed to the board trim. The rear (south) wall contains a rectangular opening offset left of center. It is covered with plywood, held in place with metal toggles, and secured with a two-by-four. Like the front entry, this opening has plain board trim.

HS-406 Ice house**Interior**

The interior of this building has one room. Interior walls are framed and finished with plywood. The space between the exterior log wall and the interior wall is filled with sawdust.

Condition

The Ice House is in good condition with some exceptions that appear to be minor. The building sits high on a good concrete slab foundation and most of the logs are in good condition although dry with some checking. However there appears to be some dry rot on the some of the logs on the southwest corner causing some settlement in that corner. The daubing is in good condition. The roof is in good condition with the exception of some damage on the west side where it appears that limbs from the trees have caused damage. The trees are very close to the building.

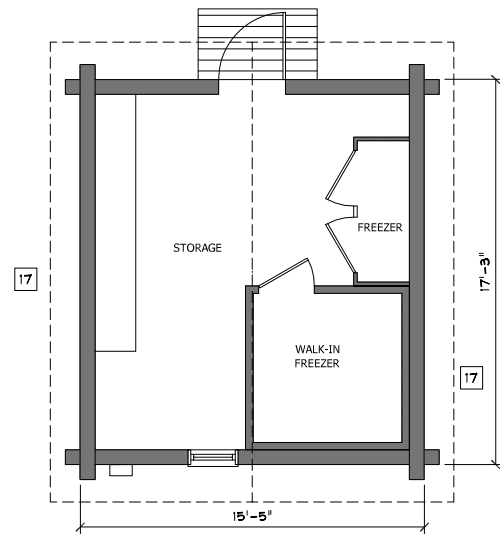
The window on the south wall has been covered over. The door is weathered and has some dry rot along the base.

The interior is in good condition. The minimal electrical system has been abandoned. The existing system would not be adequate for potential new uses.

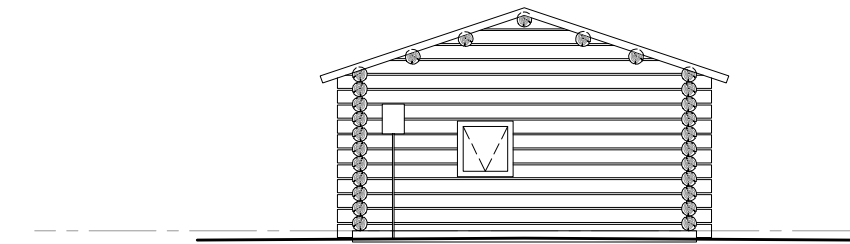
Figures 96 through 99 show the existing conditions of the Ice House.

CONDITION KEY NOTES

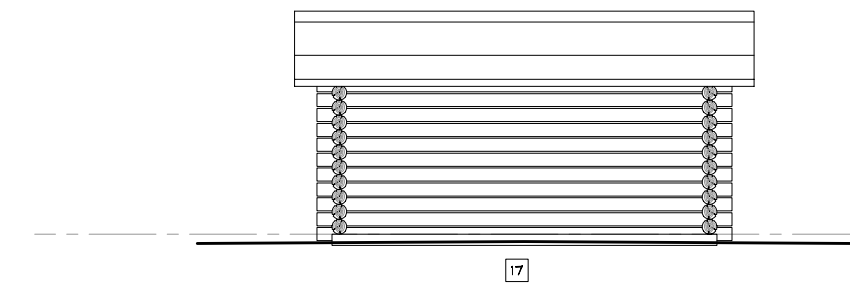
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



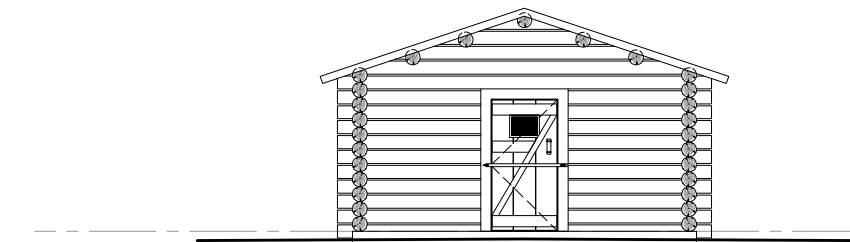
16 PLAN



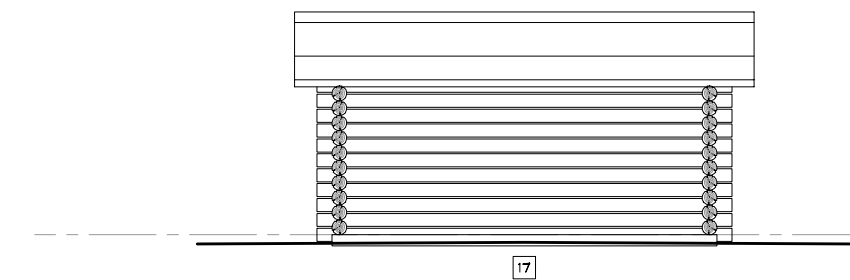
4 SOUTH ELEVATION



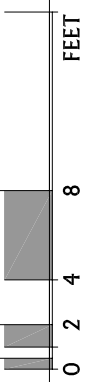
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



ICE HOUSE #406

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FIGURE

95



Figure 96 – Looking southwest at the log Ice House. The logs and daubing are in good condition even though the wood is dry. There is some minor surface rot at the base.



Figure 97 – Looking northeast at the Ice House. The roof is in good condition with some minor damage on the west side. The building sits up on a concrete slab and the grade around the building is good except for the southwest corner. There is some rot in the sill logs.



Figure 98 – Looking south at the Ice House interior. The materials are in good condition. The coolers are still in this building.



Figure 99 – Looking north at the interior and entrance door. The materials are in good condition but there is some rot on the base of the door from exterior water.

The building referred to as the “mouse house” is located adjacent to the east wall of the ice house. It is a one-story, rectangular frame building with a front-gable roof, set on concrete block footings (Figure 100). The exterior walls are covered with 12-inch boards and 2-inch battens. The front (north) wall has a centered entrance with a flush wood door accessed from a wooden stoop. There are wooden vents in both front and rear gable ends.

The interior walls, floor and ceiling of this building are covered with sheets of galvanized metal. Wooden shelving lines the sides and rear wall of the interior.

Condition

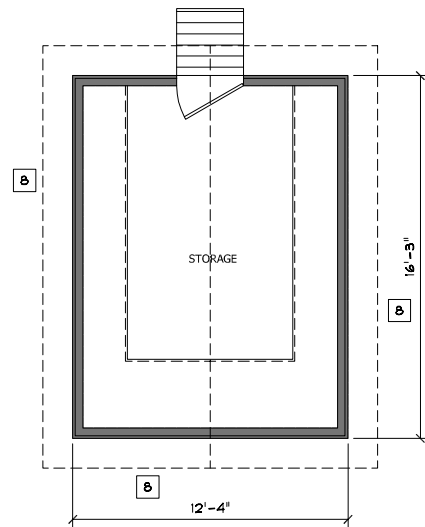
The Mouse House is in good condition with some exceptions that appear to be minor. The building sits high on a good concrete slab foundation. The board and batten siding is weathered and dry. There is some rot along the base of the siding where the grade comes up along the south side of the building. The roof is in good condition. The door is weathered and has some dry rot along the base.

The interior is in good condition. The minimal electrical system has been abandoned. The existing system would not be adequate for potential new uses.

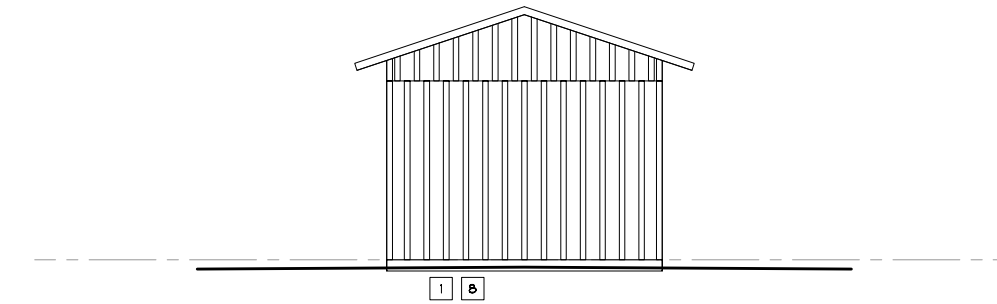
Figures 101 through 104 show the existing conditions of the Mouse House.

CONDITION KEY NOTES

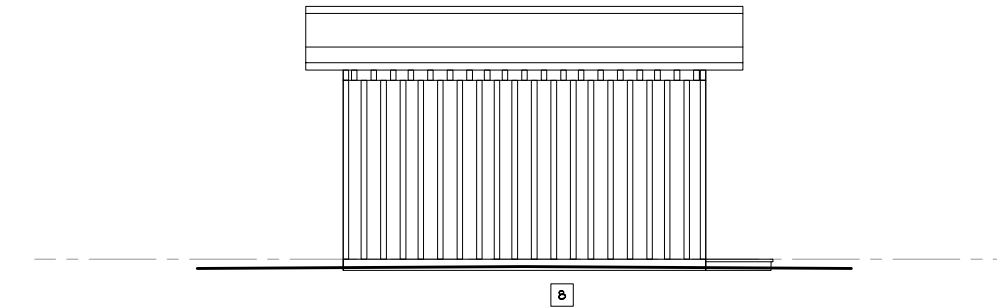
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



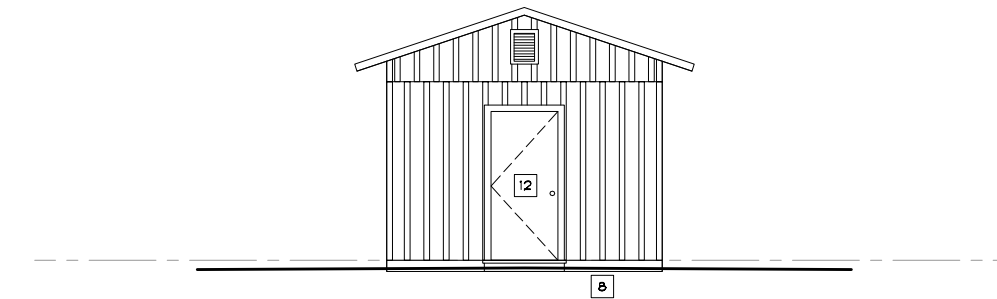
16 PLAN



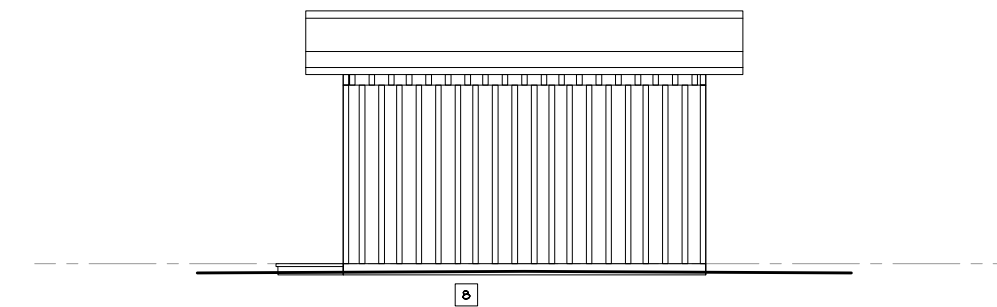
4 SOUTH ELEVATION



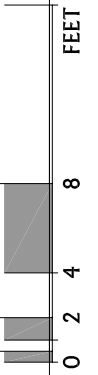
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



MOUSE HOUSE

DRAWING

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FIGURE

100

HS – 405 Mouse House
Exterior Photos



Figure 101 – Looking southwest at the board and batten Mouse House. The wood materials are very dry and there is some rot along the base of the wood siding.



Figure 102 – Looking northwest at the building. The roof appears to be in good condition.



Figure 103 – Looking northeast at the base of the building. Note the concrete piers along the wall, which is in good condition.



Figure 104 – Looking south at the interior of the building which has been lined with galvanized metal to keep out the mice. The materials are in good condition.

HS-407 (End Cabin), HS-408 (Middle Cabin) and HS-409 (Mrs. Oliver's Cabin) are virtually identical. All were built in 1927, at the same time as the Lodge and a few ancillary buildings such as the bath house and ice house. The three cabins are oriented in a rough arc south of the Lodge, at the edge of the maintained lawn. All face north towards the Lodge and the Tetons beyond. Each contains two bedrooms with a shared bath.

The end cabin is a one-story log building constructed on a concrete foundation wall (Figure 105). The side-gable roof is covered with rolled asphalt and has exposed log purlin ends. Exterior walls are daubed with a Portland cement mixture held in place at the bottom with wooden lath. The original rectangular plan of the building has been modified by the addition of a bathroom in the middle of the rear (south) wall. The bathroom addition is built on concrete block piers. Exterior door and window trim consists of plain boards painted light tan.

On the front (northeast) wall the continuous eave shelters an open, full length porch. Three log columns support the edge of the porch roof. A concrete floor has been poured around the log columns. The wall sheltered by the porch contains two entries in the center of the wall, each containing a five-panel wood door and a wood frame screen door. Window openings with six-by-six-light sliding wooden sashes are located between the entries and the outside edges of the wall.

On the rear (south) wall, the frame bathroom addition projects from the center of the wall. The gable roof of the addition intersects with the roof ridge of the main volume and is also covered with green rolled asphalt roofing. Exterior walls of the addition are covered with novelty log siding. A window opening in the south wall contains a one-by-one-light sliding window. The rear wall of the main volume contains a six-by-six-light sliding window on either side of the bathroom addition. The east and west sides of the building have no door or window openings.

HS-407 End Cabin**Interior Description**

The interior contains two rooms and a separate shared bath. An interior log wall divides the two sleeping rooms, both of which have fir floors. A five-panel door in the center of the log dividing wall connects the two rooms. In the east room, the interior walls have been daubed with a synthetic mixture; the ceiling is open, exposing the log purlins and rough-cut board sheathing of the roof structure. A wall-mounted shelf hung with curtains in the northwest corner of this room serves as a closet. In the southwest corner of the room a five-panel wood door leads to the bathroom

In the west room, the interior wall logs have been daubed with a synthetic material and chinked with split poles. The ceiling is the same as that of the east room. This room contains a small wood-burning stove, set on a metal hearth with an asbestos fire wall behind. The interior of the log dividing wall in the west room has been covered with varnished knotty pine paneling. This room also has a wall-mounted shelf on the north end of the interior wall, just inside the exterior entrance. The five-panel door to the bathroom is located in the southeast corner of the rear wall.

The bathroom walls and enclosed ceiling are covered with varnished plywood. The corners and ceiling-wall junctions have quarter-round trim. Sheet vinyl covers the bathroom floor. A cast iron tub with porcelain glaze with a shower is located along the east wall of the bathroom. Square, white ceramic tiles cover the east and south wall above the tub, and a hot water heater is located adjacent to the north end of the tub. A porcelain sink and toilet are located on the south wall.

Condition

The End Cabin is in good condition with some exceptions. The building sits on a good foundation and most of the logs are in good condition although dry with some checking. However there are rotted sill logs on the east, south, west sides of the building. There is some rot in the next logs above the sills also. The daubing is in good condition but there is also some missing daubing especially on the south side. The bathroom addition sits on concrete piers. There is some undermining of the floor structure between the concrete piers.

The roof is in good condition but the log columns supporting the extended roof over the front porch have some rot in the base and the concrete slab has cracked around those supports because of snow loading.

The windows and doors are in good condition with some minor sill deterioration and weathering.

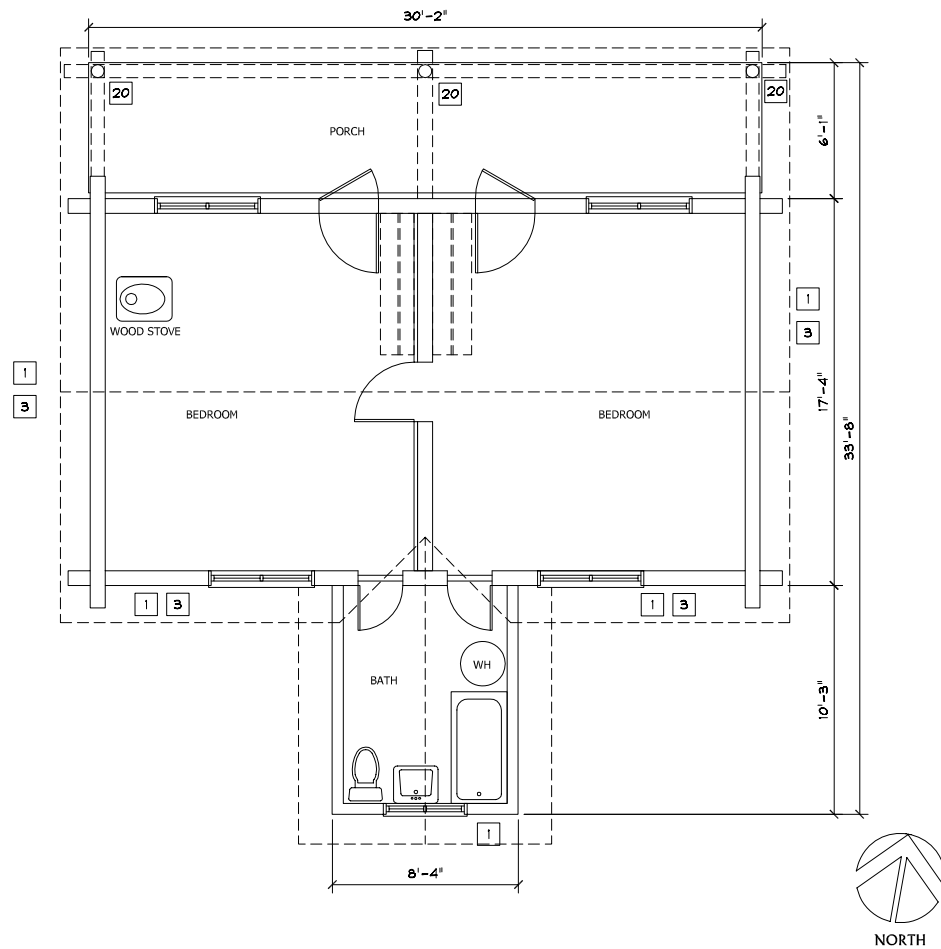
The interior of the cabin is in good condition with the exception of some water stains in the bathroom due to moisture buildup in the space.

The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

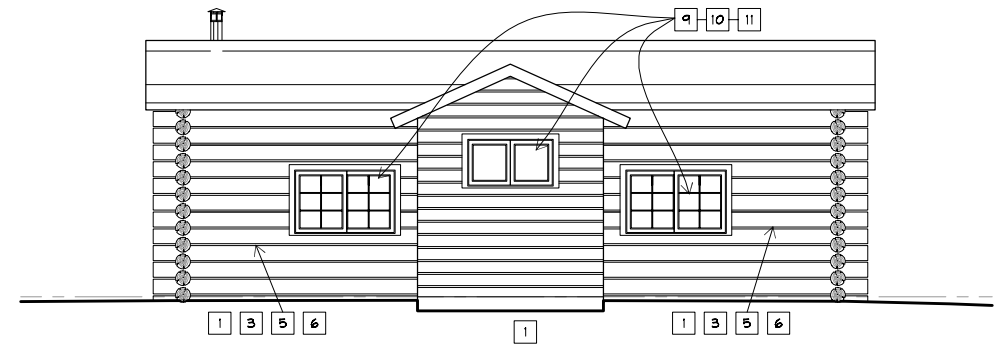
Figures 106 through 116 show the existing conditions of HS-407, End Cabin.

CONDITION KEY NOTES

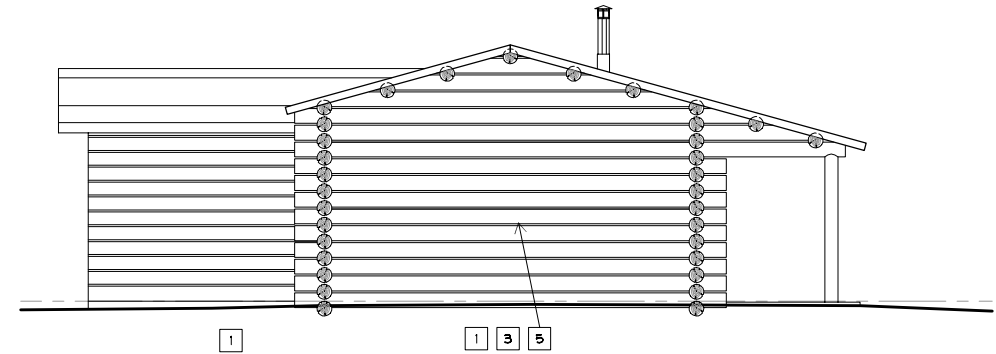
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
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9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



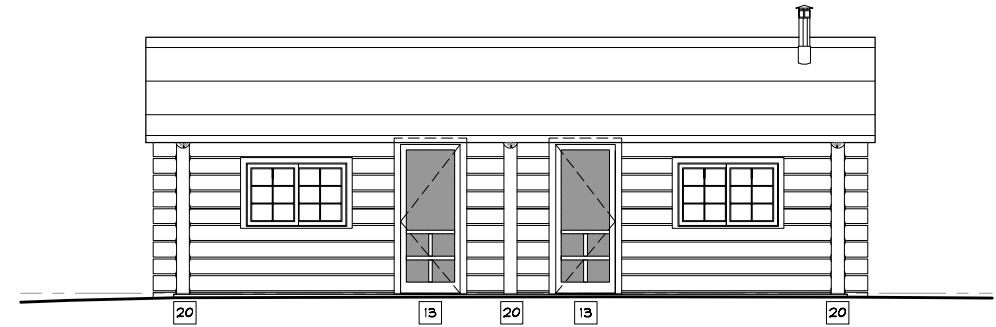
16 PLAN



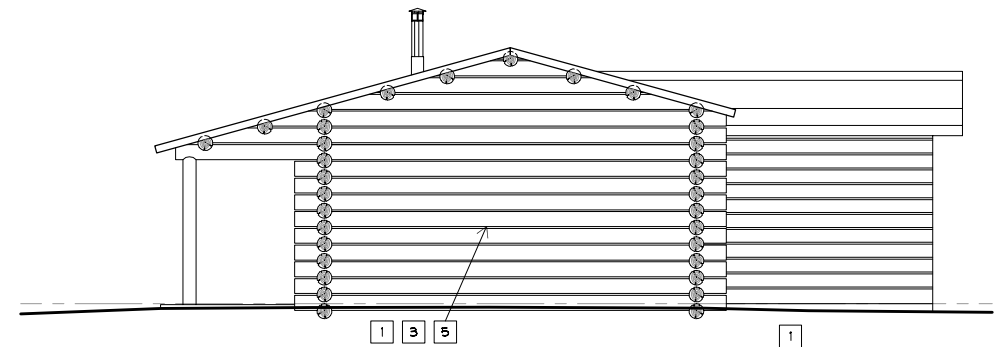
4 SOUTH ELEVATION



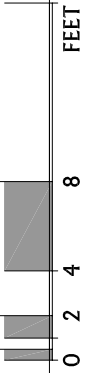
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



END CABIN #407

DRAWING

PROJECT

OWNER

4 LAZY F RANCH
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FIGURE

105



Figure 106 – Looking southwest at the cabin and the front porch and entrance. The roof is in good condition. The doors are in good condition but the screen doors are weathered and the wood is dry.



Figure 107 – Looking east at the concrete porch. There is some cracking around the column bases. Also there is a gap between the slab and the base log. Also note the surface rot on the bases of the columns.



Figure 108 – Looking south along the east side of the cabin. The logs and daubing are in good condition but the wood is dry and there is some rot in the sill logs. Note the grade buildup against the logs.



Figure 109 – Looking west at the back of the building with the bathroom addition. Most of the logs and the roof are in good condition. The sill logs and some of the wall logs are weathered and rotted.



Figure 110 – Looking north at a corner of the back wall of the cabin. Note the soil built up around the sill logs and weathered and rotted wall logs.



Figure 111 – Looking north at a typical wood sliding window with screen. Note the dry and weathered wood on the sill of the window. The paint is also peeling in some areas.



Figure 112 – Looking north along the west side of the building. The problems are typical in this area also.

HS-407 End Cabin

Interior Photos

Figure 113 – Looking southwest at the interior of the east bedroom towards the bathroom and the connecting door to the west bedroom. The fir floor has some minor wear areas. The wall and ceiling materials are in good condition.



Figure 114 – Looking northwest at the wood paneled entrance door, window and closet. Most of the materials are in good condition.



Figure 115 – Looking west along the window sill. Note the water stains on the sill and the dry wood.



Figure 116 – Looking south at the bathroom addition to the cabin. The fixtures and materials are in good condition.

The Middle Cabin is a one-story log building constructed on a concrete foundation wall (Figure 117). The side-gable roof is covered with rolled asphalt and has exposed log purlin ends. Two metal stove pipes, one in the northwest corner and one in the northeast corner, project from the roof. Exterior walls are daubed with a Portland cement mixture held in place at the bottom with wooden lath. The original rectangular plan of the building has been modified by the addition of a bathroom in the middle of the rear (south) wall. The bathroom addition is built on concrete block piers. Exterior door and window trim consists of plain boards painted light tan.

On the front (northeast) wall the continuous eave shelters an open, full length porch. Three log columns support the porch roof at the north edge. A continuous concrete floor has been poured around the log columns. The porch roof shelters two entries in the center of the northeast wall, each containing a five-panel wood door and a wood frame screen door. Two window openings, each with a six-by-six-light sliding wooden sashes are located between the entries and the outside edges of the wall.

On the rear (south) wall, the frame bathroom addition projects from the center of the wall. The gable roof of the addition intersects with the roof ridge of the main volume and is also covered with green rolled asphalt roofing. Exterior walls of the addition are covered with novelty log siding. A window opening in the south wall contains a one-by-one-light sliding window. The rear wall of the main volume contains a six-by-six-light sliding window on either side of the bathroom addition. The east and west sides of the building have no door or window openings.

HS-408 Middle Cabin**Interior Description**

The interior contains two rooms and a shared bath. An interior log wall divides the two sleeping rooms, both of which have fir floors. A five-panel door in the center of the log dividing wall connects the two sleeping rooms. The interior walls of both sleeping rooms have been daubed with a synthetic mixture and chinked with split poles. The log purlins are exposed in the open ceilings, but the spaces between the purlins have been filled with Celotex with wooden battens covering the joints. Each room has a wall-mounted shelf just inside the front entrance, hung with curtains hung below, which serves as a closet. Five-panel wooden doors connect the sleeping rooms with the shared bathroom. Each room has a small wood stove sitting on a metal hearth with a piece of asbestos behind to serve as a firewall.

The bathroom walls and enclosed ceiling are covered with varnished plywood. The corners and ceiling-wall junctions have quarter-round trim. Sheet vinyl covers the bathroom floor. A ceramic tub with a separate wall-mounted shower is located along the east wall of the bathroom. Square, white, ceramic tiles cover the east and south wall above the tub; a water heater is located adjacent to the north end of the tub. A wall-mounted electric heating unit is located high in the wall behind the water heater. A porcelain sink and toilet are located on the south wall

Condition

The Middle Cabin is in good condition with some exceptions. The building sits on a good foundation and most of the logs are in good condition although dry with some checking. However there are rotted sill logs on the south, west sides of the building. There is some rot in the next logs above the sills also on those sides. The daubing is in good condition but there is also some missing daubing especially on the south side. The bathroom addition sits on concrete piers. There is some undermining of the floor structure between the concrete piers.

The roof is in good condition with some asphalt roof damage on the eave of the porch. The log columns supporting the extended roof over the front porch have some rot in the base and the concrete slab has cracked around those supports because of snow loading.

The windows and doors are in good condition with some minor sill deterioration and weathering. The screen doors are weathered and dry.

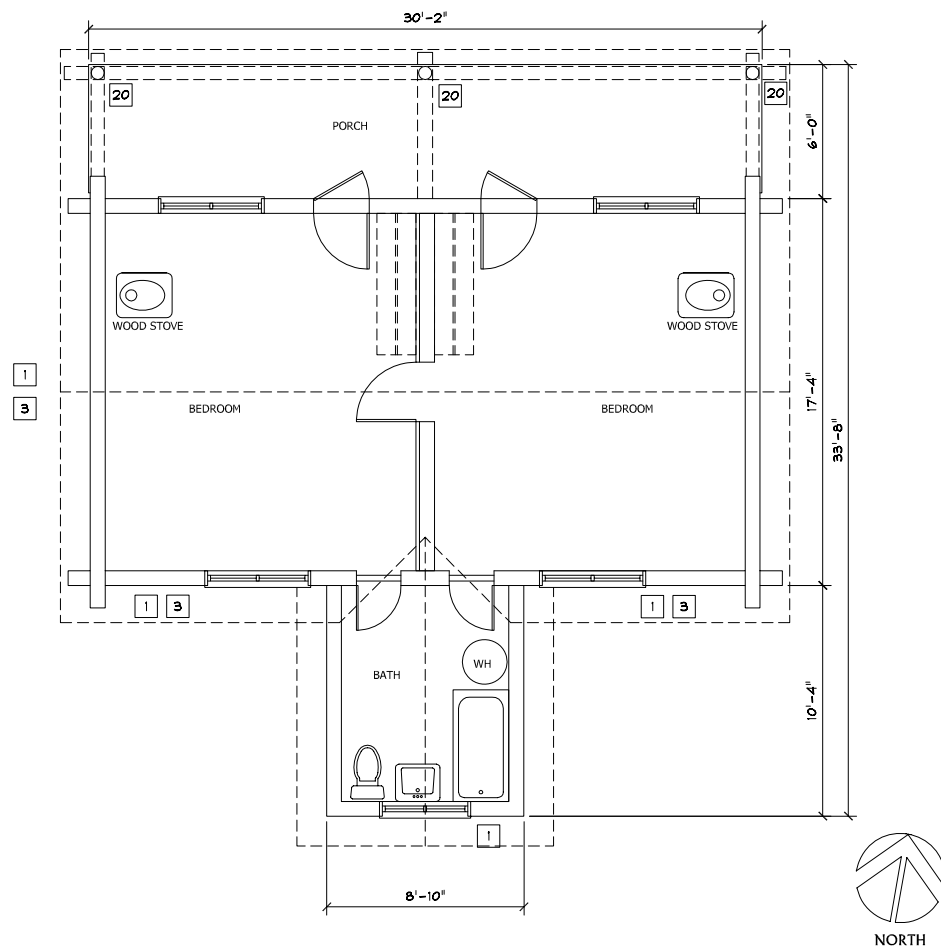
The interior of the cabin is in good condition with the exception of some water stains in the bathroom due to moisture buildup in the space

The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

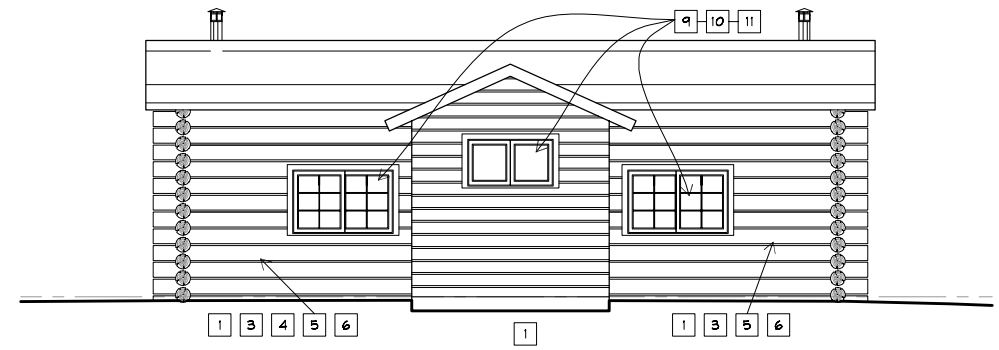
Figures 118 through 127 show the existing conditions of the Middle Cabin.

CONDITION KEY NOTES

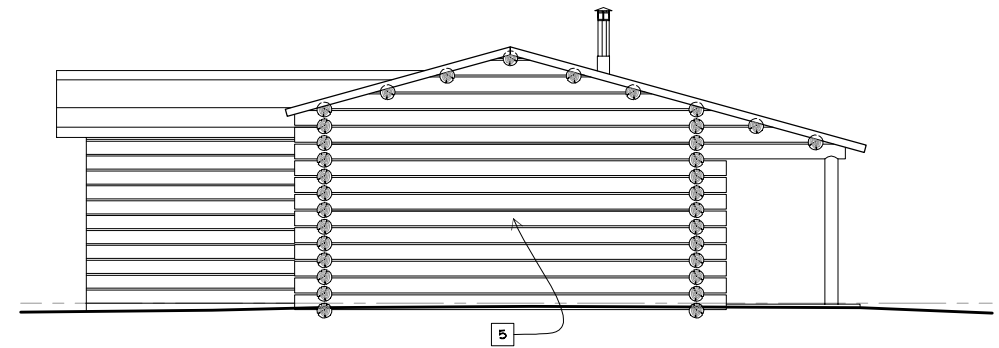
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
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11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



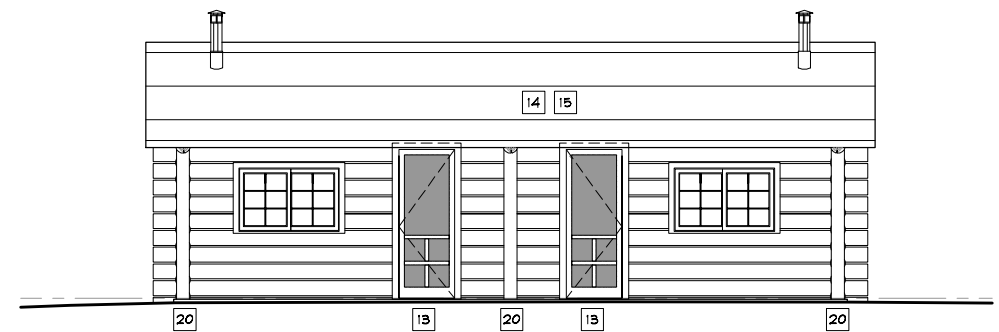
16 PLAN



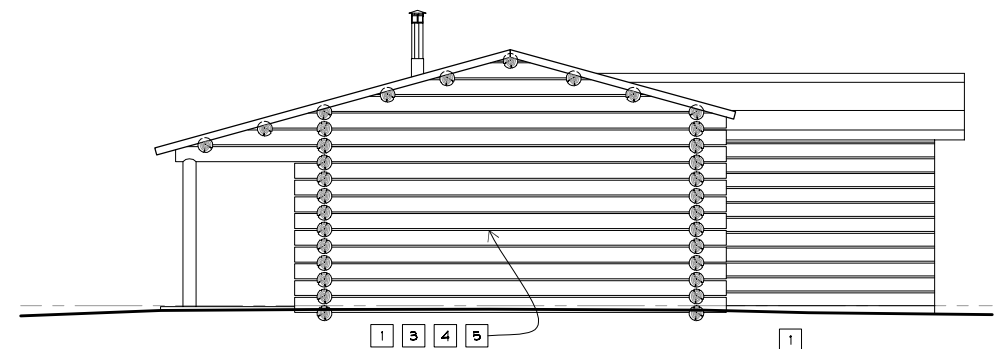
4 SOUTH ELEVATION



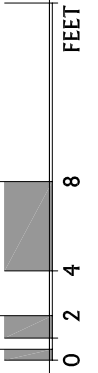
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



MIDDLE CABIN #408

DRAWING

PROJECT 4 LAZY F RANCH

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FIGURE

117



Figure 118– Looking southwest at the cabin and front porch. The roof is in good condition with some minor damage on the eave of the porch roof.



Figure 119 – Looking south at a typical wood sliding window and wood paneled door into each of the units. They are in good condition with the exception of the screen doors, which are dry and stained.



Figure 120 – Looking southwest at the concrete porch and column base. Note the cracks in the slab from the weight of the roof and column. (As the concrete appears to have been poured around the column bases, it is not possible to determine whether or not they have separate footings without destructive investigation.)



Figure 121 – Looking northwest at the cabin. Note the vegetation and soil build-up around the base, which is causing rot in the sill log and base logs of the wall. The wall logs are dry but the daubing is generally good.



Figure 122 – Looking north at the back wall of the addition. The wood is dry and weathered, and the window needs some glazing work.



Figure 123 – Looking north at the back wall of the cabin. Note the soil build-up and the rotted and weathered sill and base logs. The window is weathered and needs repair work.



Figure 124 – Looking northeast at the cabin. Note the soil build-up around the base.

HS-408 Middle Cabin

Interior Photos



Figure 125 – Looking northeast at the interior of the east bedroom. Note the wood stove and log walls. The free-standing heat shield behind the stove may contain asbestos. The ceiling has a Celotex infill between the log purlins. The wall and ceiling materials are in good condition and the fir floor has some minor wear but is in good condition. Possible asbestos heat shield behind wood stove.



Figure 126 – Looking southeast at the interior of the west bedroom. Note the wood paneled doors to the other bedroom and bathroom. The materials are in good condition.



Figure 127 – Looking southeast at the water heater and bathtub in the bathroom.

Mrs. Oliver's Cabin is a one-story log building constructed on a concrete foundation wall (Figure 128). The side-gable roof is covered with rolled asphalt and has exposed log purlin ends. Exterior walls are daubed with a Portland cement mixture held in place at the bottom with wooden lath. The original rectangular plan of the building has been modified by the addition of a bathroom in the middle of the rear (south) wall. The bathroom addition is built on concrete block piers. Exterior door and window trim consists of plain boards painted light tan.

On the front (northeast) wall the continuous eave shelters an open, full length porch. Three log columns support the edge of the porch roof. A partial concrete floor has been poured around the log columns. A portion of the original wood porch floor remains exposed in front of the east entrance. The wall sheltered by the porch contains two entries in the center of the wall, each containing a five-panel wood door and a wood frame screen door. The front wall also contains two window openings, each with a six-by-six-light sliding wooden sash, located between the doors and the outside edges of the wall.

On the rear (south) wall, the frame bathroom addition projects from the center of the wall. The gable roof of the addition intersects with the roof ridge of the main volume and is also covered with green rolled asphalt roofing. Exterior walls of the addition are covered with novelty log siding. A frame enclosure containing a water heater is located on the west edge of the rear wall of the bathroom addition. The foundation, if any exists, is covered by built-up soil. The shed roof covered is covered with rolled asphalt, and the exterior walls are enclosed with vertical boards. A board and batten door provides access to the interior of the enclosure. A window opening in the south wall contains a one-by-one-light sliding window. The rear wall of the main volume contains a six-by-six-light sliding window on either side of the bathroom addition.

The east side of this cabin contains a six-by-six-light sliding window, offset south of center. The west side of the building had no door or window openings.

HS-409 - Mrs. Oliver's Cabin**Interior Description**

The interior contains two rooms and a separate shared bath. An interior log wall divides the two sleeping rooms, both of which have fir floors. A five-panel door in the center of the log dividing wall connects the two sleeping rooms. The interior walls of both rooms have been chinked with split poles. The ceilings are open, exposing the log purlins, but a Celotex-type of material has been applied to the area between the purlins and the joints covered with stained wooden lath. The east sleeping room has an enclosed closet just inside and to the west of the entrance. The walls of the closet are made with plywood, which has been varnished. Electric baseboard heaters are located beneath the two windows in the east room.

In the west sleeping room, a small wood-burning stove, set on a metal hearth with an asbestos fire wall behind is located in the northwest corner. The interior of the log dividing wall in the west room has been covered with varnished knotty pine paneling. This room also has a fully enclosed closet, just east of the entrance.

The bathroom walls and enclosed ceiling are covered with varnished plywood. The corners and ceiling-wall junctions have quarter-round trim. Linoleum tiles cover the floor. A ceramic tub is located along the east wall of the bathroom. Square, white ceramic tiles cover the east and south wall above the tub and a wall-mounted electric heater is located low in the east wall north of the end of the tub. A ceramic sink and toilet are located on the south wall. This room also contains an electric baseboard heater on the west wall.

Condition

Mrs. Oliver's Cabin is in good condition with some exceptions. The building sits on a good foundation and most of the logs are in good condition although dry with some checking. However there are rotted sill logs on the south, west sides of the building. The daubing is in good condition but there is also some missing daubing especially on the south and west sides of the Cabin. The bathroom addition sits on concrete piers and there is some undermining of the floor area.

The roof is in good condition with some asphalt roof damage on the eave of the porch. The log columns supporting the extended roof over the front porch have some rot in the base and the concrete slab has cracked around those supports because of snow loading.

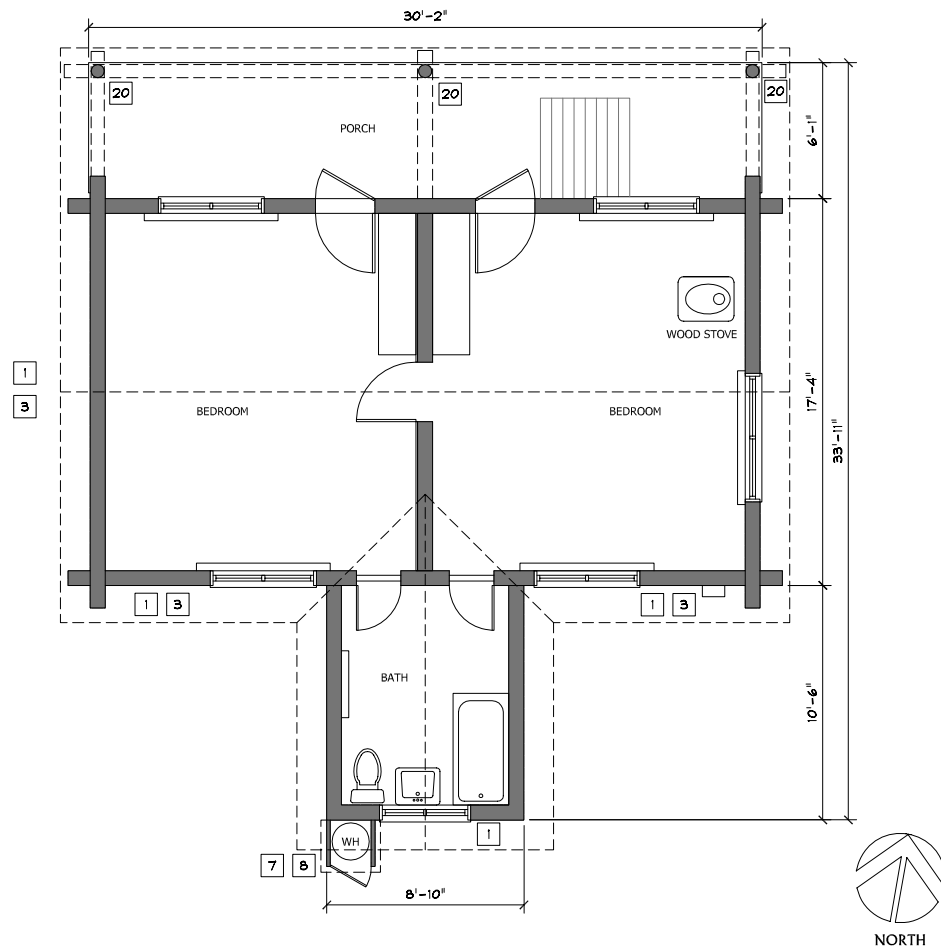
The windows and doors are in good condition with some minor sill deterioration and weathering. The screen doors are weathered and dry.

The interior of the cabin is in good condition. The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

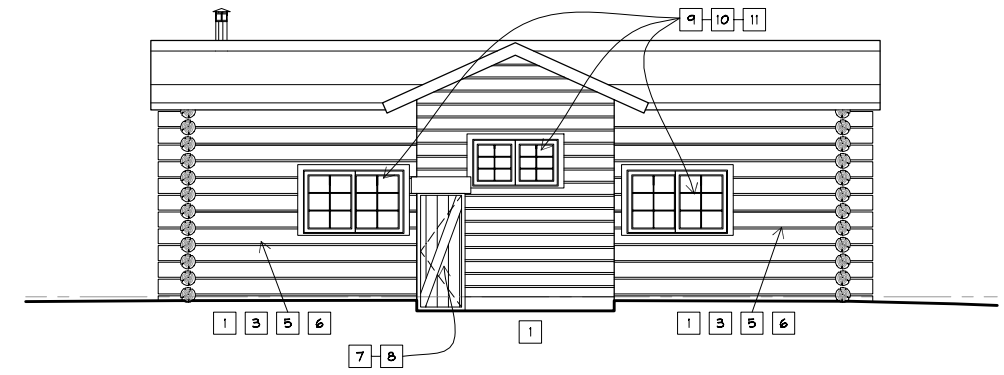
Figures 129 through 138 show the existing conditions of Mrs. Oliver's Cabin.

CONDITION KEY NOTES

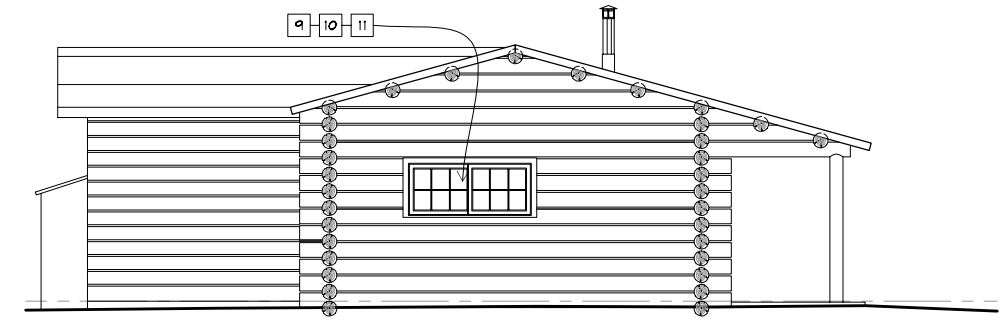
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



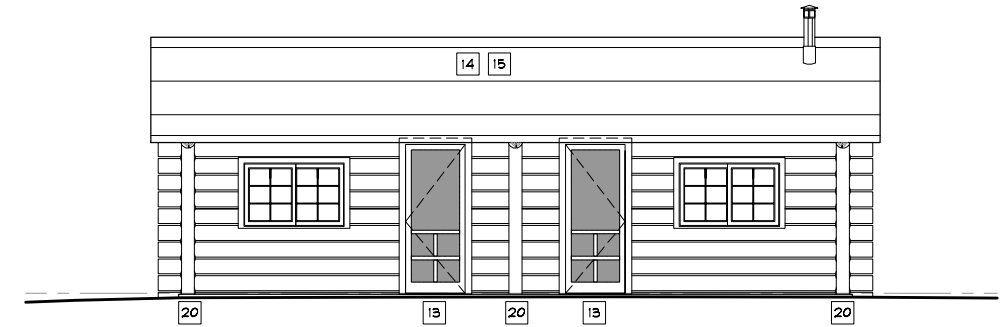
16 PLAN



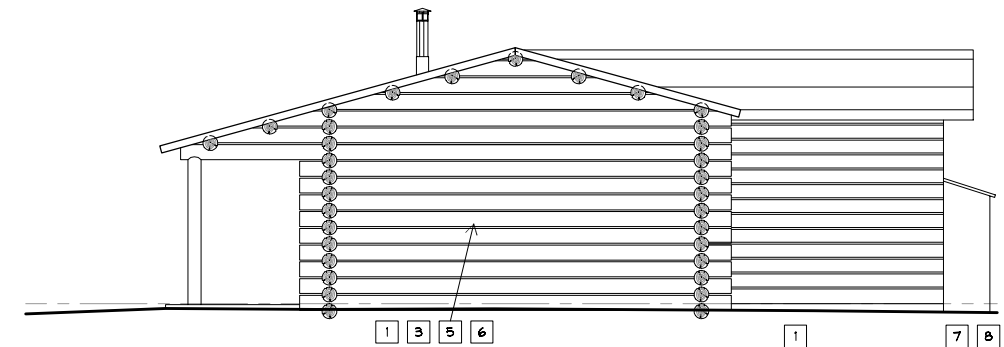
4 SOUTH ELEVATION



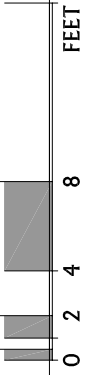
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



MRS. OLIVER'S CABIN #409

4 LAZY F RANCH

GRAND TETON NATIONAL PARK, WYOMING

DRAWING

PROJECT

OWNER

A&E
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FIGURE

128



Figure 129 – Looking southeast at the cabin and front porch. The roof is good with some minor damage along the porch eave.



Figure 130 – Looking southwest at the front porch and typical door and window. The screen door wood is dry and stained. Note the concrete slab and wood infill where some piping evidently comes into the cabin.



Figure 131 – Looking northwest at the cabin. The wall logs are dry and there is some rot in the sill logs due to the vegetation and soil build-up around the base. The daubing is generally good.



Figure 132 – Looking northwest at the back of the bathroom addition with a small structure for the water heater. The wood materials are weathered and dry and the base has some rot.



Figure 133 – Looking northeast at the wall of the cabin. Note the dry logs and some surface weathering. The daubing is good.



HS-409 Mrs. Oliver's Cabin

Interior Photos

Figure 134 – Looking southeast at the east bedroom. Note the log walls and fir floor that are in good condition.



Figure 135 – Looking northwest at the wood paneled entrance door and enclosed closet area. The ceiling is Celotex set between the log purlins.

Figure 136 – Looking southeast at the connecting door and opening to the bathroom from the west bedroom. Note the good condition of the materials.



Figure 137 – Looking southwest at the bathroom. There is electric baseboard heat throughout the cabin.



Figure 138 – Looking southeast at the bathtub in the bathroom. This area is dry and there does not appear to be any mould. The vinyl tile floor is in good condition.

Harry's Cabin is located west of the three original cabins, near the fence that encloses the Lodge building cluster. Unlike the majority of the cabins, this building faces south, towards the casting pond.

Moved to the 4 Lazy F in 1954 to serve as Harry Oliver's cabin, this is a rectangular, one-story log building with a front-gable roof with exposed log purlins (Figure 139). The building consists of two volumes, the log cabin moved to the site in 1954 and a log bathroom addition; the log ends of the side walls on the bathroom addition butt against the exterior log ends of the main volume. Both volumes are built on concrete piers. The exterior walls of the main volume are joined at the corners with ventral saddle notches and daubed with a Portland cement mixture held in place at the bottom with wooden lath. The bathroom addition also has saddle notches, but its exterior walls are chinked with split poles nailed in place. A stove pipe projects above the roof in the southeast corner of the main volume. Two vents (one for the water heater) extend from the west side of the bathroom addition roof. The exterior door and window openings in both volumes all have plain board trim, painted light tan.

The front (south) wall of the main volume has an open porch, the roof of which is formed by an extension of the gable end past the front wall. The two log columns that support the porch roof rest on a stone (west) and a concrete (east) pier. The board porch floor is built on concrete block piers. An entrance with a vertical board and batten door and a wood-frame screen door is centered in the south wall sheltered by the porch. The east and west sides of the main volume each contain a central, six-by-six-light sliding window with exterior wooden screens. The north wall of the bathroom addition contains another six-by-six-light sliding window, also with an exterior screen.

HS-410 Harry's Cabin**Interior Description**

The interior of the main volume has a painted board floor and baseboard trim. The ceiling is open exposing the log purlins; the spaces between the purlins have been infilled with Celotex, and the joints covered with wooden lath. Interior walls are daubed with a synthetic mixture and chinked with split poles. A small metal wood stove on a metal hearth and an asbestos fire wall behind is located in the southeast corner of the room.

A vertical tongue-and-groove knotty pine door at the east edge of the north wall leads to the bathroom. In this room the interior walls are chinked with split poles and the floor is covered with sheet linoleum. A porcelain enamel tub is located along the north wall beneath the exterior window. The portion of the wall between the tub and the bottom of the window is covered with white ceramic tile, as is the top surface of a small platform that supports a hot water heater. The west wall and part of the north wall has been framed in and finished with vertical boards and battens to create closets and a storage area. The porcelain toilet and sink are located on the south wall of the bathroom.

Condition

Harry's Cabin is generally in good condition but there are exceptions. The porch and sill logs on all sides of the cabin are rotted. The logs on the north wall from the sill up to just under the window show some areas of rot. Most of the logs are dry and checked. This cabin is on concrete piers and it appears that the cabin has settled down into the ground or the area has been drastically filled in around the cabin. The building was moved to the site and may not have been properly sited. The daubing in the original log portion to the south is in good condition and the wood chinking in the north addition appears to be in good condition.

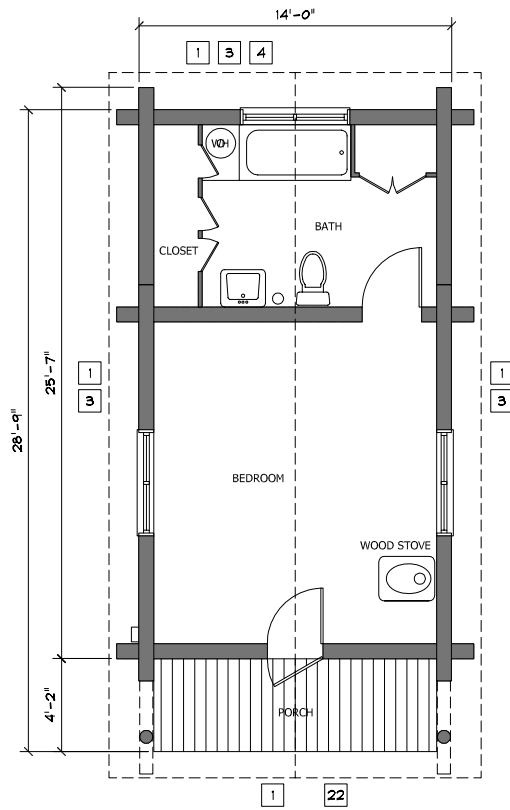
The roof is in good condition. The windows and doors have some peeling paint and the sills are generally weathered and show some rot.

The interior of the cabin is in good condition with the exception of some water stains around vents in the ceiling. The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

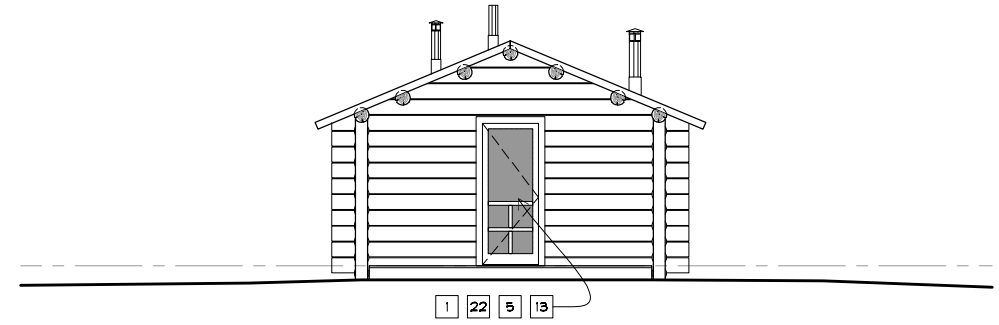
Figures 140 through 148 show the existing conditions of Harry's Cabin.

CONDITION KEY NOTES

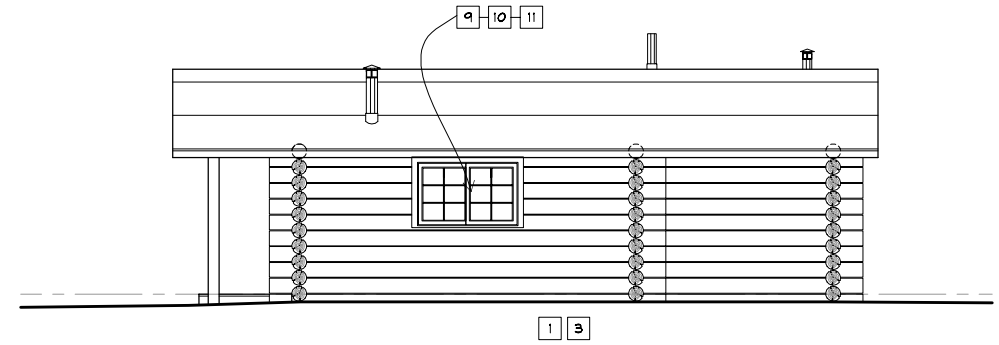
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



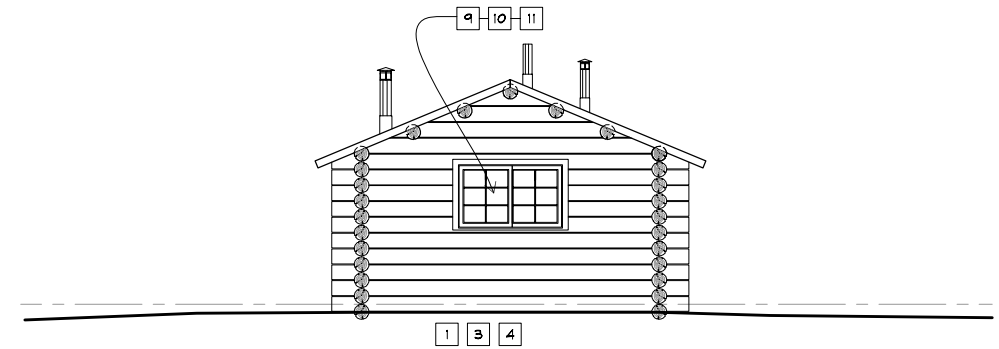
16 PLAN



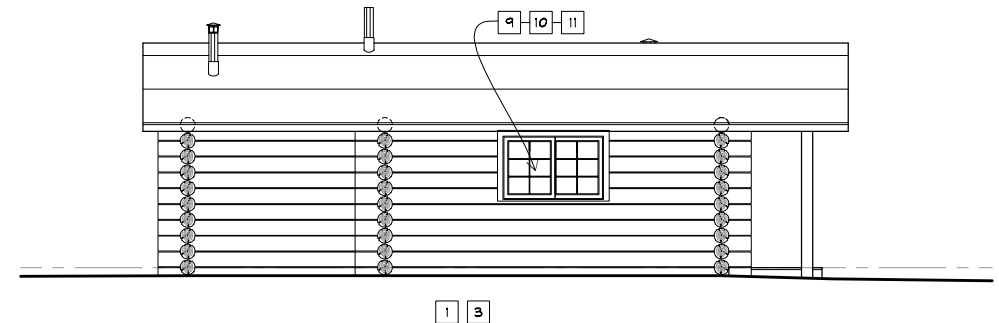
4 SOUTH ELEVATION



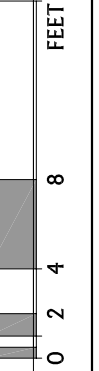
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



HARRY'S CABIN #410

DRAWING

PROJECT

OWNER

4 LAZY F RANCH

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FIGURE

139



Figure 140 – Looking northeast at Harry's House. The roof is in good condition and the log walls though dry are generally in good condition. There is some rot in the sill logs.



Figure 141 – Looking east at a typical wood sliding window and screen. Note the peeling paint and weathered wood on the sill of the window.



Figure 142 – Looking northeast along the Main Cabin and log addition to the north. The logs are dry but there is some rot in the sill logs because of the soil build-up. The daubing in the original building is good and wood chinking in the addition appears to be good.



Figure 143 – Looking southwest at the cabin. Note the shrubbery and soil build-up around the building.



Figure 144 – Looking south at the base of the rear log wall. Note the rotted sill logs and wall logs.



Figure 145 – Looking west at the edge of the porch which is weathered and has some rot. The columns supporting the roof rest outside the porch on concrete and stone piers.



Figure 146 – Looking south at the bedroom and the main entrance door. Note the fir floor, log walls, and Celotex ceiling. These materials are in good condition with some staining around the vent pipe in the bathroom.



Figure 147 – Looking north from the bedroom to the doorway into the bathroom addition. The materials appear to be in good condition.

Figure 148 – Looking north at the bathroom fixtures and storage cabinets.



The new cabin is located at the south end of the Lodge building cluster. This is a one-story log building with a side gable roof, built on a concrete block foundation wall (Figure 149). The wall logs are joined at the corners with ventral saddle notches and chinked with Portland cement mixture with wooden lath stops. Like the remainder of the buildings, the roof is covered with green rolled asphalt; a metal stove pipe extends from the northwest corner of the roof. The doors and windows have plain board trim.

The front (northeast) wall of the building has a full-length open porch with a shed roof. The roof is supported by four log columns, which rest on the board floor of the porch. A wood step provides access to the porch. An entrance with an X-braced board and batten door and a wood screen door is located in the center of the east half of the wall. A large window opening to the west of the entrance contains three, six-light wooden sashes. The center sash is fixed, and the two end sashes open inward casement style. The end sashes have exterior wood frame screens held in place with metal toggles.

The southeast side wall contains a single, six-light hopper window located high in the wall towards the south end of the building. The northwest side elevation contains a central window opening with a pair of six-light casement windows paired with wood frame screens. The rear wall of the building contains no door or window openings.

HS-411 New Cabin**Interior Description**

On the interior of this building the varnished wall logs are chinked with split poles. The ceiling is open to expose the log purlins and board sheathing of the roof. The interior floors are fir. A cement pad and brick firewall in the northwest corner of the main room formerly supported a wood stove.

A small bathroom in the southeast corner of the building and a closet on the wall to the east of the entrance are both framed in and finished with tongue-and-groove knotty pine paneling. The bathroom has a fiberglass bathtub and shower surround, toilet and sink, and a wall-mounted electric heater. The floor is covered with vinyl.

Condition

The New Cabin is in good condition with some exceptions that appear to be minor. The building sits high on a good foundation and most of the logs are in good condition although dry with some checking. However there appears to be some dry rot on the sill log on the west side of the cabin and some minor rot in the base of the notching on the southwest corner. The wood front porch sits on a good foundation but the soil has built up over the wood. This has potential to rot even though it does not appear to be a problem at this point. The bases of the porch columns have some dry rot.

The roof is in good condition but the structural elements of the porch roof appear to be inadequate to support the winter snow load, when additional, temporary supports are added. The windows and doors are in good condition with some minor sill deterioration and weathering of all the exposed wood.

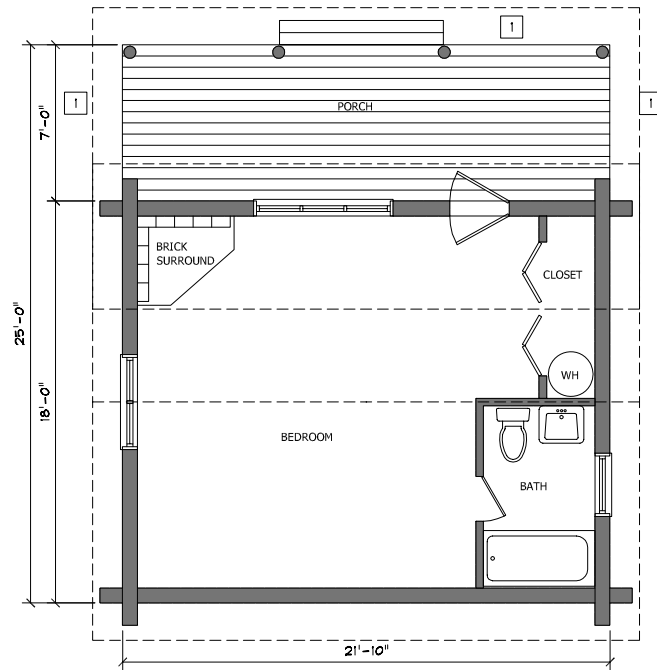
The interior of the cabin is in good condition since most of the materials are essentially new. There is very minor wear.

The minimal electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

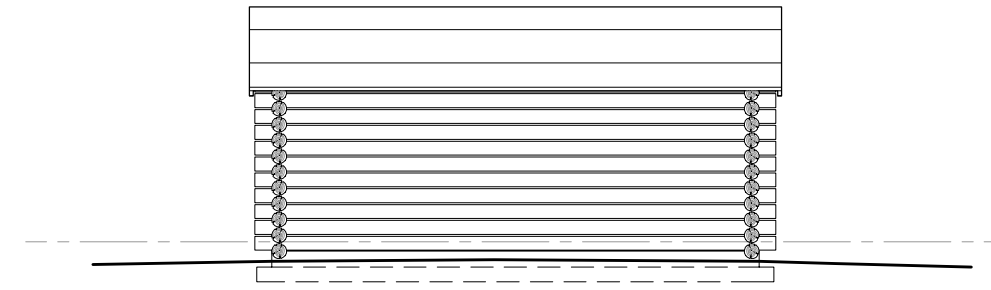
Figures 150 through 157 show the existing conditions of HS-411, New Cabin.

CONDITION KEY NOTES

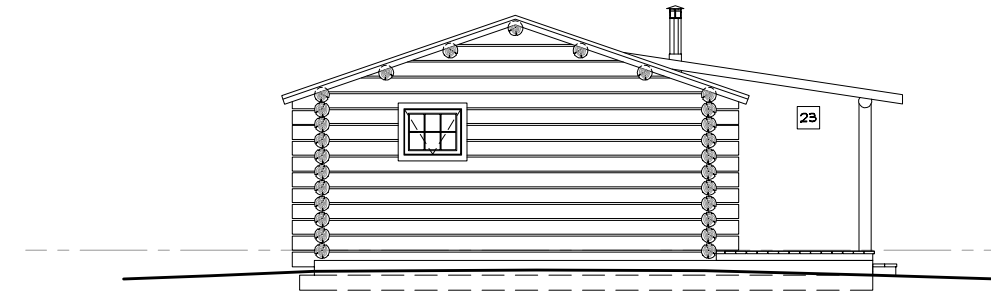
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2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



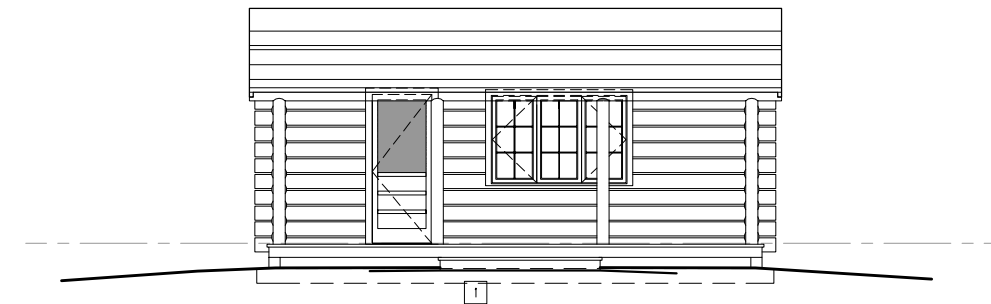
16 PLAN



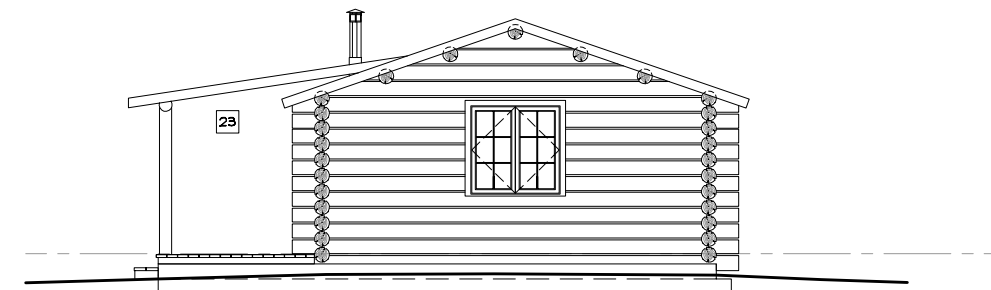
4 SOUTH ELEVATION



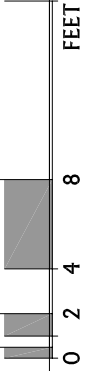
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



NEW CABIN - HS-411

DRAWING

PROJECT
4 LAZY F RANCH

OWNER
GRAND TETON NATIONAL PARK, WYOMING

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FIGURE

149



Figure 150 – Looking southwest at the cabin and front porch. The cabin sits up on a concrete foundation and generally the grade is good around the building. The roof is in good condition.



Figure 151 – Looking south at the wood porch. There is some rot in the porch and on the base of the columns.



Figure 152 – Looking south at a typical wood casement window on the front of the cabin. The wood is just oiled but is dry.



Figure 153 – Looking south at the entrance door and screen door. They are in good condition but the wood is dry.



Figure 154 – Looking northeast at the cabin. The logs are dry and there is some rot in the sill log. The daubing appears to be in good condition.



HS – 411 New Cabin

Interior Photos

Figure 155 – Looking northwest at the corner of the bedroom with fire wall for the wood stove. The materials are in good condition.



Figure 156 – Looking northeast at the wood entrance door and closet. The fir floor has some minor wear but all in all the materials are in good condition.



Figure 157 – Looking southeast at the bathroom and the integral fiberglass tub/shower beyond. These areas are also in good condition.

The well housing is located in front of the end cabin. This small frame structure is built over one of two wells originally used as a water supply for the ranch. The base is enclosed with log slabs; vertical poles support the frame structure of the gable roof, which is covered with boards on boards (Figure 158). A trap door in the top of the base is held in place with rocks. A fly-wheel formerly used to hoist buckets of water has been removed.

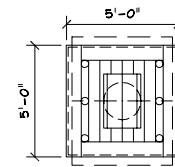
Condition

The well housing is in poor condition. The base of the structure is rotted and settling down causing the columns supporting the roof to start to collapse. The board and batten roof is in poor condition. All of the wood materials are dry and weathered. There is some surface rot in all of the elements. There are no electrical or mechanical systems in the structure.

Figure 159 shows the existing condition of the Well Housing.

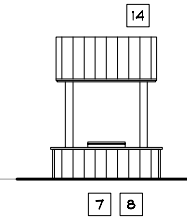
CONDITION KEY NOTES

1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
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11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		

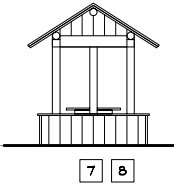


16 PLAN

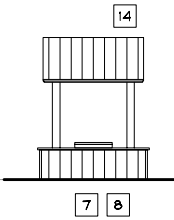
4 SOUTH ELEVATION



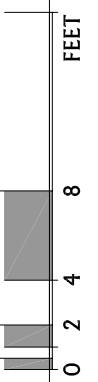
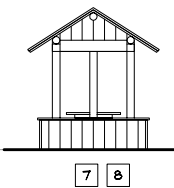
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



WELL HOUSE

DRAWING

4 LAZY F RANCH

PROJECT

GRAND TETON NATIONAL PARK, WYOMING

OWNER

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FIGURE

158



Figure 159 – Looking southeast at the well housing. The structure is weathered and there is rot along the base. The board and batten roof is in poor condition.

CARETAKER'S BUILDING CLUSTER

The caretakers building cluster contains buildings and structures used for housing the ranch caretakers' family, as well as all of the facilities directly associated with the sheltering of livestock—mostly milk cows and horses. This cluster of buildings is located adjacent to a side channel of the Snake River, which appears to flood during spring runoff. A dog-leg bend in the main ranch access road divides the buildings into two groups. The Caretaker's House, Garage and Outhouse are located within a dense stand of cottonwood, aspen, and pine south of the road. All three buildings are enclosed within a buck and pole fence. The barnyard is located about 100 yards north of the Caretaker's House. Included in this group are the Barn, Tack Room and Chicken Coop—all are connected to one another by sections of post-and-pole fencing, creating a corral. The ranch's main irrigation distribution ditch runs south past the west side of the corral, then angles southeast past the rear of the Caretaker's House toward the Lodge cluster.

HS-412 Caretaker's House

Exterior Description

The Caretaker's House is very similar to the Lodge (HS-399). It is a one-story log building built on a concrete foundation wall. As originally constructed the building had a rectangular plan with a low-pitched intersecting gable roof; structural additions made in the 1960s have resulted in the current irregular plan (Figures 160 and 161). Exterior wall logs are joined at the corners with ventral saddle notches and chinked with split poles. The ends of the log purlins are exposed in the four gable ends of the roof, which is covered with green rolled asphalt roofing applied horizontally. The top of an interior brick chimney extends above the roof in the northwest corner. Door and window openings have plain four inch board trim, all painted green. All of the window openings contain wooden sashes (fixed, sliding, hopper and casement); some have exterior wood frame screens, while others are simply covered with pieces of screen stapled in place on the exterior. The building is wired for electricity, is plumbed, and has a forced air furnace.

The front wall of the building faces west towards the Teton Mountains. This wall is divided into three bays by the exposed ends of the interior log walls. As originally constructed, the middle bay contained a recessed open porch. In the 1960s this bay was framed in to expand the interior living space. The frame wall below the gable end contains a central fixed picture window with six-light hopper windows on either side. The wall around the fixed window is covered with vertical boards, while the wall surface around the hopper windows is covered with novelty log siding. The two end bays in the west wall each contain a central, six-by-six-light sliding window.

The south wall of the Caretaker's House is divided into two bays by the ends of an interior log dividing wall. Each bay contains a central six-by-six-light sliding sash, with screen nailed to the exterior.

Like the west wall, the east (rear) wall of the building is divided into three bays by the exposed log ends of the interior dividing walls. The southern-most bay contains an entry adjacent to the south wall. The entry contains a flush wood door and an aluminum storm door, accessed from a wooden stoop. An exterior cobblestone chimney flanked on either side by a fixed picture window is located in the middle bay. The frame kitchen addition extends almost the entire length of the north bay and wraps around the northeast edge of the building. The addition has a shed roof (also covered with rolled asphalt roofing), with eight-inch tongue and groove board siding on the exterior walls. A single window opening at the east edge of the south wall of the addition contains a pair of casement windows. The east wall of the addition has two window openings; a large opening at the south end of the wall containing a central fixed light with a casement window on either side, and a smaller opening containing a casement window in the center of the wall. The north wall of the addition contains a second entrance, with a flush wood door with three staggered lights, and an aluminum storm door. A board deck extends along the length of the north wall of the addition.

The north wall of the original building contains two window openings, each with a six-by-six-light sliding window. Both of the windows have wood-frame screens, held in place with metal toggles.

The house contains a living room, three bedrooms, two bathrooms and a kitchen. The living room, located in the center of the building, has an open ceiling in which the log purlins of the intersecting gable roof are exposed. The board sheathing between the purlins has been covered with a Celotex-like material with wooden battens covering the joints. A cobblestone fireplace mantle with a tile hearth is located in the center of the southeast wall. The interior log walls are chinked with split poles and varnished. Plain board trim surrounds the fixed windows on either side of the fireplace, and the floor is carpeted.

The walls on the west and north sides of the living room have built-in shelving and cabinet units, made by cutting spaces in the log bearing walls. The units are trimmed with plain varnished boards. In the center of the west wall a reading nook is located within a portion of the enclosed porch. The nook is accessed through the former front entrance. A carpeted bench seat is located below the fixed window in the framed exterior wall.

An open doorway in the southwest corner of the living room leads to the easternmost of the two bedrooms that occupy the south third of the building. This room has a door to the exterior in the south end of the east exterior wall. A five-panel wooden door in the south end of the west wall, leads to the west bedroom. The log walls of both bedrooms are chinked with split poles nailed in place and varnished. The ceiling is finished in the same manner as the living area, with sheetrock applied between the log purlins in the open ceiling. Both bedroom floors are carpeted and both have plain board door and window trim.

In the west bedroom a doorway in the west end of the north wall leads to a bathroom. The doorway contains an accordion door. The bathroom occupies a portion of the enclosed front porch. It contains a wood vanity with a fiberglass sink, a ceramic tub and toilet. Blue ceramic tile covers the lower two-thirds of the bathroom walls and forms the shower surround. The wall above the tile is covered with flowered wall paper, and the floor is carpeted.

The north third of the building contains the kitchen and entry vestibule and a third bedroom. From the exterior entrance in the kitchen addition, one enters a carpeted entry vestibule, where a step up leads to a landing with a closet. The walls of the entry vestibule and landing are covered with imitation wood paneling. A half-wall connects the landing with the kitchen proper. A bank of cabinets, a sink and stove form an L around the interior of the outside wall of the addition. The floor in front of the cabinets is covered with sheet vinyl, and the ceiling has a sprayed-on, acoustical (popcorn) finish.

In the area to the west of the addition (which corresponds to the original kitchen area), a new bank of varnished plywood cabinets has been built in front of the brick chimney. An opening with a five-panel wood door at the south end of the original interior dividing wall, leads to the bedroom that occupies the northwest corner of the building.

The bedroom in the northwest corner has a built-in closet unit along its south wall. The walls are chinked and varnished and the doors and windows have plain board trim. Unlike the other original interior rooms, the log purlins in the ceiling of this bedroom have been enclosed with sheetrock, which is painted white. A door in the west end of the south wall leads to the second bathroom that occupies a portion of the former recessed entry porch. This bathroom has a wood vanity with a fiberglass sink, a built-in ceramic tub and toilet. Finishing materials in this bathroom include sheet vinyl on the floor and light green ceramic tile on the lower two-thirds of the walls and in the shower surround. The walls above the tile are painted. A trap door in the floor leads to a partial basement.

Condition

With a few exceptions, the Caretaker's House is in good condition. On the exterior of the building there are rotted areas in the log sills because of soil that has built up around the building. This mostly occurs on the east side of

the building especially around the chimney and on the west side around the infill area of the original porch. A similar condition exists on the southeast corner of the House where the building has settled because of the rotted logs caused by soil buildup.

The shed roof addition on the north side appears to be in good condition because of the concrete slab foundation. There is some roofing deterioration along the valleys on each side of the chimney and water flows down on the logs causing some rot in the walls at those points. There is some soffit damage along the gable end on the west side also. The chimney has some mortar deterioration and the flashing needs some work.

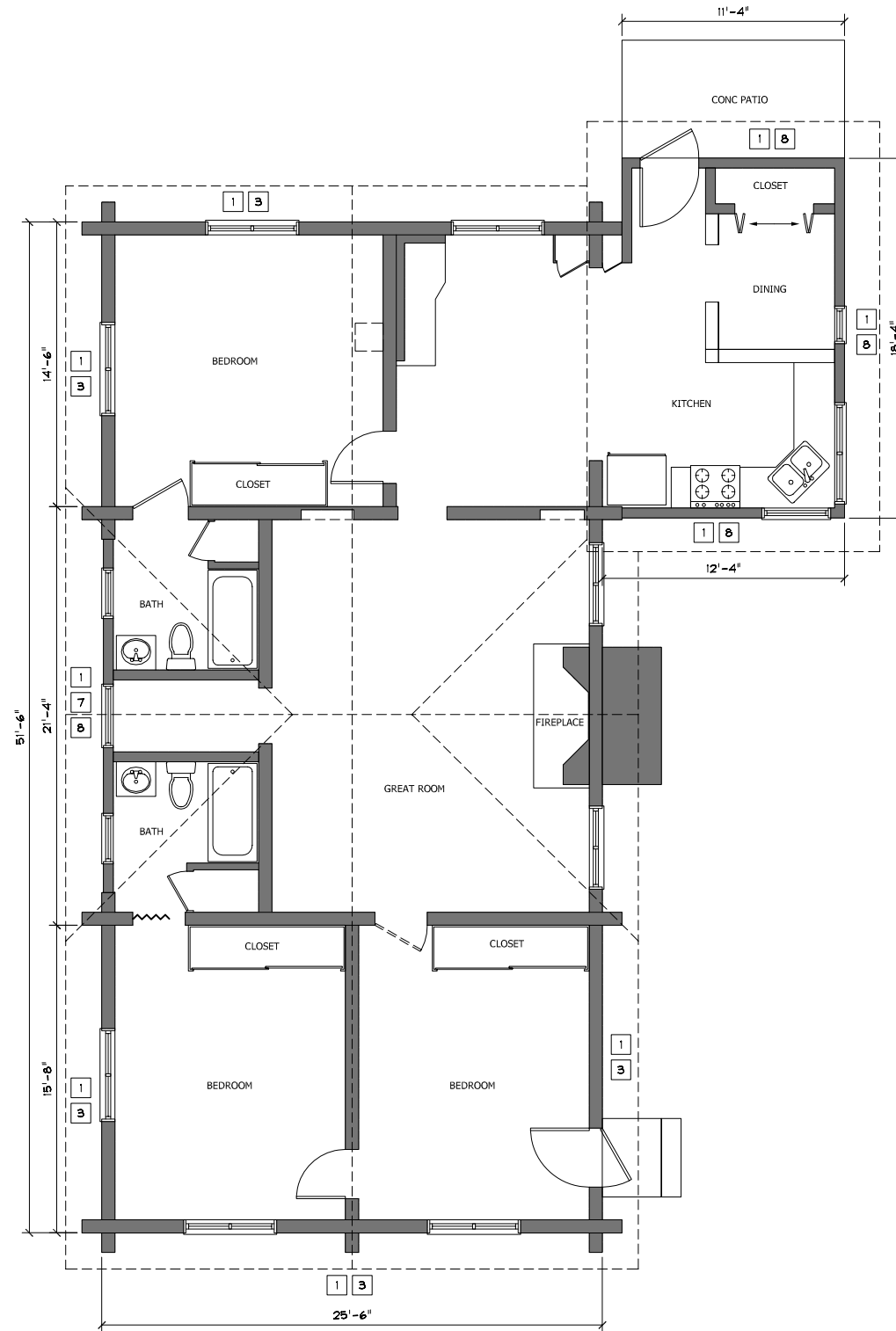
The log walls are dry and checked but the daubing is generally in good condition. The dry wood appears in the soffits and underneath the porch roof. The wood walls of the infill area are weathered and there are some cracks in the wood surfaces. The windows are in good condition with some minor weathering especially on the sills. The paint on the windows and doors appears to be holding up very well but there is some minor peeling paint.

The interior of the building is in good condition with some minor wear. The wood floors have been covered with carpet or sheet vinyl. The river stone fireplace is in good condition with some decorative patterns of stones on the face. The electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

Figures 162 through 177 show the existing conditions of the Caretaker's House.

CONDITION KEY NOTES

1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



CARETAKERS HOUSE #412

DRAWING
PROJECT 4 LAZY F RANCH
OWNER GRAND TETON NATIONAL PARK, WYOMING



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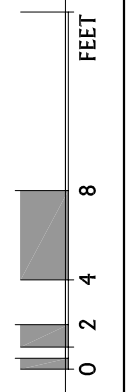
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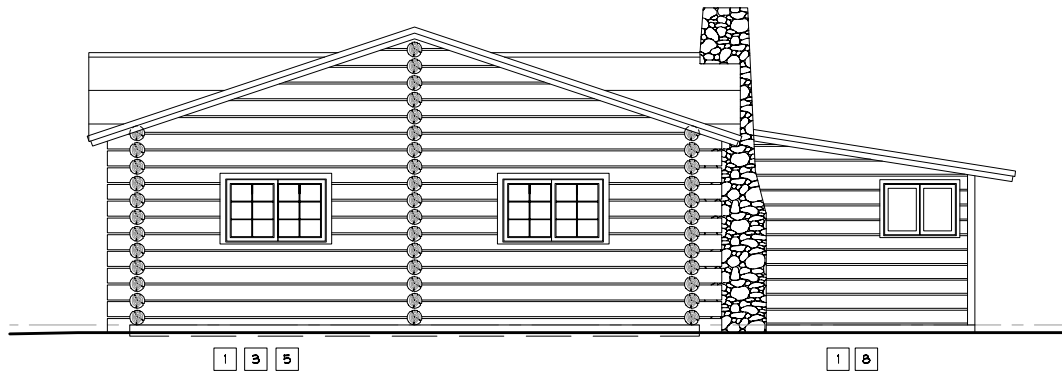
FIGURE

160

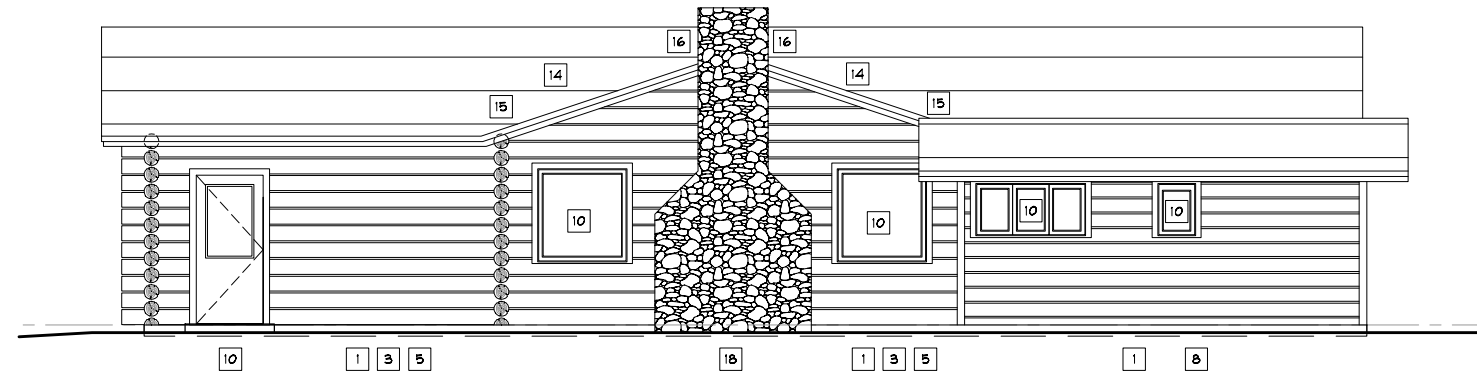


CONDITION KEY NOTES

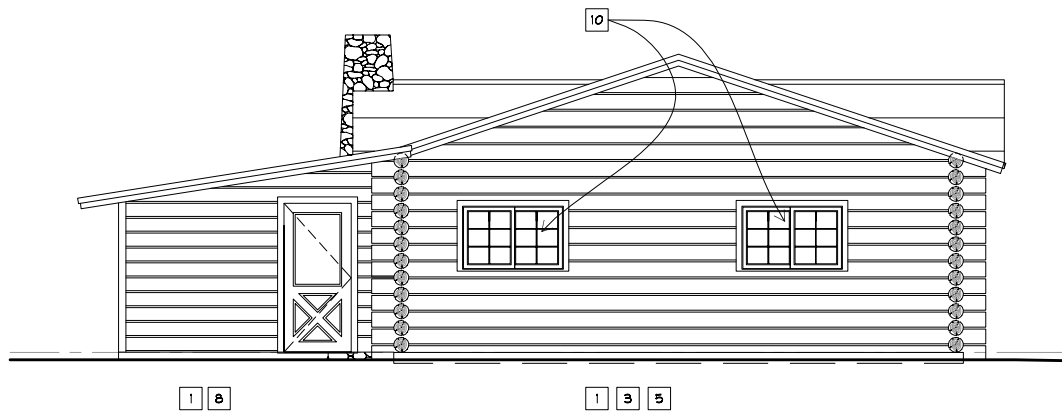
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12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



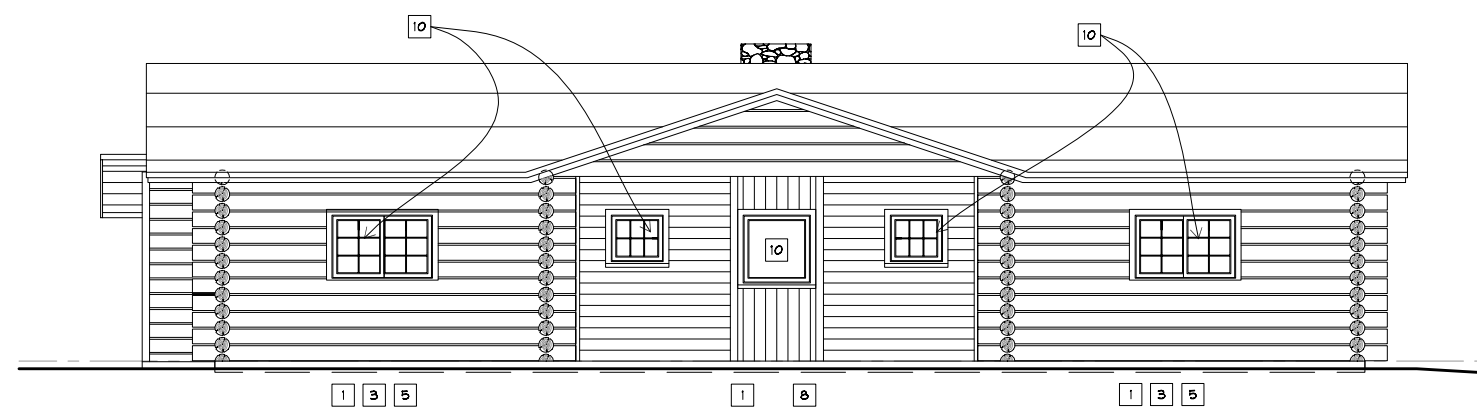
6 SOUTH ELEVATION



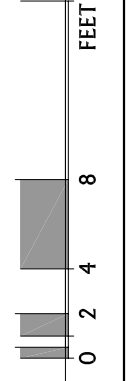
8 EAST ELEVATION



16 NORTH ELEVATION



18 WEST ELEVATION



CARETAKERS HOUSE #412

4 LAZY F RANCH

GRAND TETON NATIONAL PARK, WYOMING

DRAWING

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FIGURE

161

HS-412 Caretaker's House
Exterior Photos



Figure 162 – Looking southeast at the Caretaker's House showing the log sections and the infill in the original recessed porch area. The roof is in good condition with some minor damage on the eaves.



Figure 163 – Looking southeast at the log corner notches. Note the rotted sill log and surface rot on the upper logs due to the soil build-up around the base.



Figure 164 – Looking south at the house and kitchen wing addition. There is some rot in the sill logs and the base of the addition. The wood including the logs and wood chinking is dry but in good condition.



Figure 165 – Looking west at the stone chimney and log walls. The windows are in good condition with some minor weathering on the sills. A couple of the log ends of the inner walls have rotted and broken off.



Figure 166 – Looking north up along the eave to the stone chimney. There is some staining where there have been leaks around the chimney area. There is some damage to the roofing material on the eave on this end of the building.



Figure 167 – Looking northwest at the south end of the Caretaker's House. Soil build-up appears to be a problem in this area causing some rot in the sill logs.



Figure 168 – Looking north at a typical wood sliding window. The window appears to be in good condition with some minor weathering on the sill.



Figure 169 – Looking north along the log wall to wood frame infill in the original porch. The wood siding is weathered and logs have some surface rot.

HS-412 Caretaker's House

Interior Photos



Figure 170 – Looking east at the fireplace and log wall of the great room. The log walls, celotex ceiling and log structure appear to be in good condition. The floors are covered with carpet.



Figure 171 – Looking southeast along a detail of the fireplace. Note the river rock and patterns of the fireplace. It is in good condition.



Figure 172 – Looking north at the wall of the great room and the entrance to the kitchen. Note the infilled doors with bookcases. The walls are in good condition.



Figure 173 – Looking northeast at the kitchen area into the addition. These areas were modernized in the 1970's and are in good condition.



Figure 174 – Looking northwest at the bedroom in the northwest corner of the house. The walls and windows are in good condition. The sheet rocked ceiling is also in good condition.

Figure 175 – Looking south at the bathroom in the bedroom. This room is part of the infilled space on the original front porch.



Figure 176 – Looking northwest at the walls in the southwest bedroom. Most of the materials are in good condition. It appears that there is some water staining on the log work.



Figure 177– Looking north at the bathroom in the southwest bedroom.

The Caretaker's Outhouse is a small frame building located in the woods southeast of the Caretaker's House. Made with rough-cut dimensional lumber and built on grade, the exterior walls are covered with unpeeled log slabs, while the roof is covered with boards on boards (Figure 178). A small wooden vent projects from the west side of the roof. A vertical board and batten door is located in the northeast wall of the outhouse.

The unfinished interior of the building contains a bench seat with two holes.

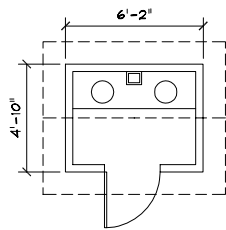
Condition

The Outhouse is in poor condition. The base of the structure is rotted and settling causing the walls to start to collapse. The board roof is in poor condition. All of the wood materials are dry and weathered. There is some surface rot in all of the elements. There are no electrical or mechanical systems in the structure.

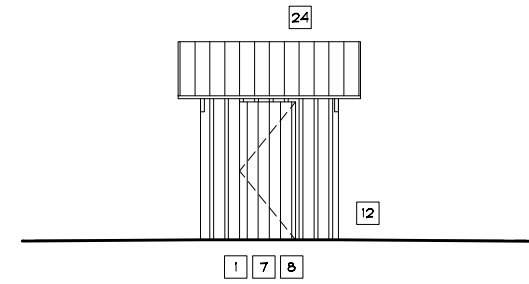
Figures 179 through 181 show the existing conditions of the Caretaker's Outhouse.

CONDITION KEY NOTES

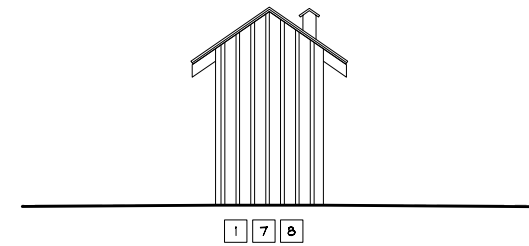
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2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
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9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
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12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



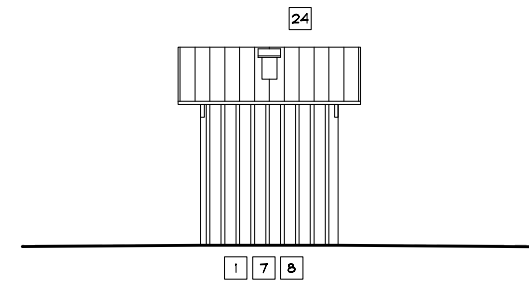
16 PLAN



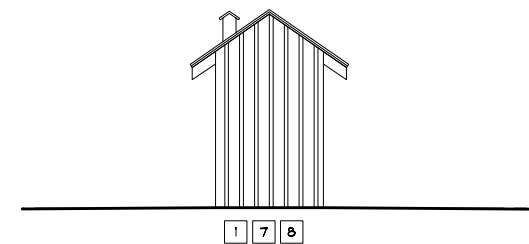
4 SOUTH ELEVATION



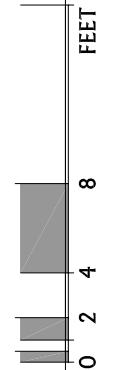
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



CARETAKER'S OUTHOUSE #412A

DRAWING

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FIGURE

178



HS-412A Caretaker's Outhouse
Exterior Photos

Figure 179 – Looking southwest at the outhouse. The building is in poor condition with weathered wood, a failing board and batten roof and rot along the base because of soil build-up.

Figure 180 – Looking northeast at the outhouse. Note the accumulated soil and vegetation around the back of the building.



HS-412A Caretaker's Outhouse

Interior Photos

Figure 181 – Looking southwest at the interior of the outhouse. Note the filled in holes and the stained and rotted wood.

The Garage associated with the Caretaker’s House is a one-story log building with a front-gable roof, built on grade (Figure 182). The logs are joined at the corners with square notches nailed in place. There is no indication that the wall logs on this building were ever daubed or chinked. The roof has exposed log purlin ends and is covered with boards-on-boards. A large opening with no door is located in the northeast wall. The northwest and southeast sides each have a central window opening without a sash; both have been boarded over—the northwest opening on the outside with boards and the southeast opening on the inside with plywood.

The interior of this building is unfinished. The roof is open to reveal the log purlins and the board roof covering. There is no floor. According to Harry Oliver, he did not know of the building ever being used as a garage proper, but rather for storing wood and coal.

Condition

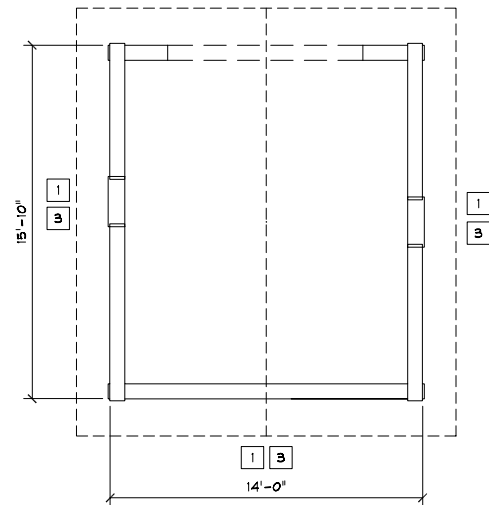
The Garage is in fair condition. The log walls are dry and checked. There is rot in the sill logs because of the soil that has accumulated around the base of the building. At the front of the building the side walls of the opening appear to be moving outward. The board-on-board roof is in poor condition. The window is missing and the wood trim is weathered.

The general structure of the building appears to be fair, but is starting to deteriorate because of the leaking roof. The interior of the building has a dirt floor. There are no mechanical or electrical systems in the building.

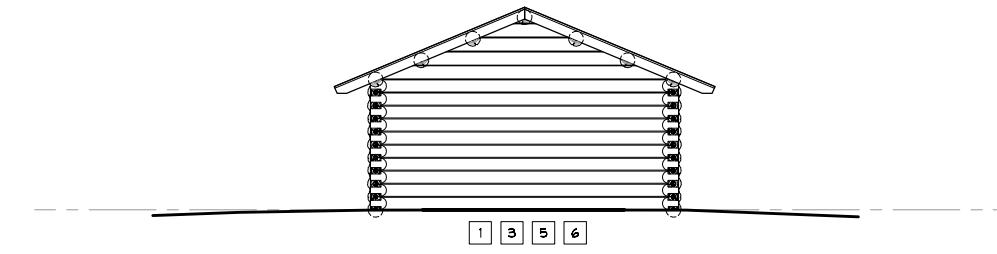
Figures 183 through 187 show the existing condition of the Caretaker’s Garage.

CONDITION KEY NOTES

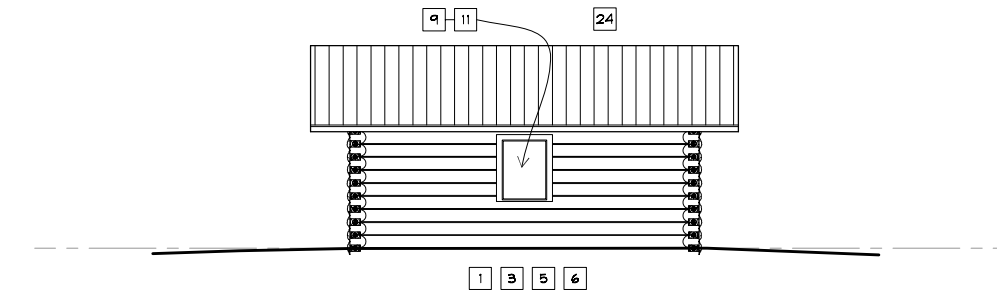
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2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
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5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
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12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
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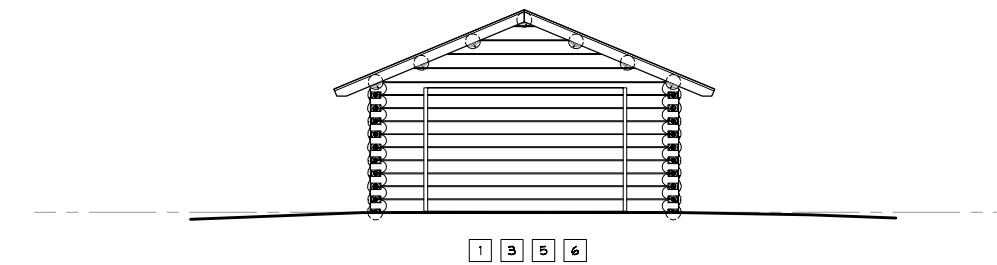
16 PLAN



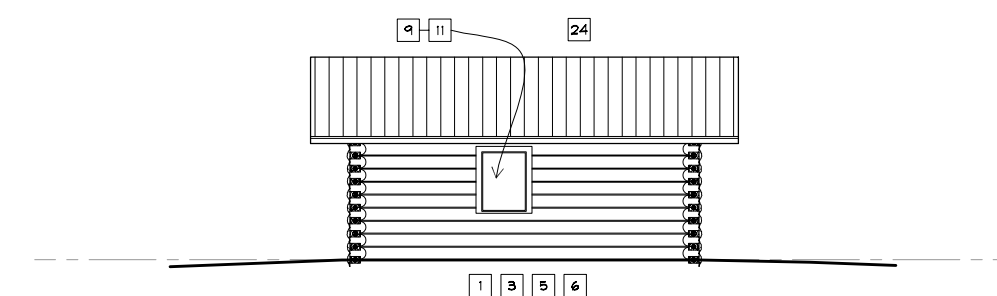
4 SOUTH ELEVATION



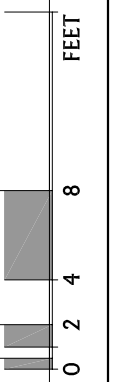
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



CARETAKER'S GARAGE #412B

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OWNER
GRAND TETON NATIONAL PARK, WYOMING

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FIGURE

182

**HS-412B Caretaker's Garage
Exterior Photos**



Figure 183 – Looking southeast at the garage building. The board-on-board roof is weathered and showing some leakage of water. The two side walls at the opening have moved out at the bottom.



Figure 184 – Looking northwest at the Garage. The vegetation and soil build-up around the building has caused the sill logs to rot.



Figure 185 – Looking east at a section of the wall and roof. Note the deteriorated log walls and the warping of the boards on the roof.

**HS – 412B Caretaker's Garage
Interior Photos**



Figure 186 – Looking south at the interior of the Garage. Note the open areas between the logs and the log purlins. Water stains on the board sheathing indicate that the roof leaks.



Figure 187 – Looking south at the board ceiling spanning the purlins. Note some dry rot in the wood.

The Barn is a one and one-half story log building with a gambrel roof, built on concrete footings. It contains three volumes; the central full one-and-one-half story volume with the gambrel roof, and two lower shed-roof wings (Figures 188 and 189). The unpeeled wall logs are joined with saddle notches and the exterior walls have both cement daubing and chinking with split and whole poles nailed in place. Boards and battens cover the gambrel section of the roof while the two shed-roofed wings are covered with green rolled asphalt roofing. The gambrel ends are covered with boards and battens painted red.

In the south (front) wall, a large entry with two sets of double doors fills the first floor level. This large opening replaced the original hay door in the half story, the top of which has been filled in with logs. The exterior board and batten doors run on a track mounted above the door, while the interior double doors are hinged and open inward. A concrete ramp has been poured in front of the entrance. The south wall of the west wing has a double board and batten door centered in the first floor, and a small board and batten hay door in the half story. The south wall of the east wing has a one-light fixed window high in the first floor level and a hay door in the half story.

On the west elevation, a double-leaf, board and batten door is centered in the west wing. The east elevation has two double leaf board and batten doors, one at either end of the wall. A 6-light hopper window is located high in the center of the wall.

In the north (rear) wall, the central component has two hay doors centered in the first and half-story level. Each wing also has a hay door in its half-story level. In addition, the west wing has a six-light hopper window in the first floor, which has been boarded over on the outside with a large sheet of plywood.

HS – 413 Barn**Interior Description**

In the central volume, the walls and ceiling have been covered with plywood. The room has a concrete floor with a drain in the center. The opening for the hay door in the north wall has been filled with a piece of plywood. A flush wood door in the center of the west wall leads to the interior of the west wing. The half story of the central volume is open to the rafters.

The interior walls of the west wing are chinked with whole and split poles nailed in place. Log floor joists support a board floor in the half story which appears to have been used for hay storage. An opening between the half story of the west wing and that of the central volume, is partially blocked by the plywood walls and ceiling of the enclosed room in the central volume. In the ground floor, two stalls at the north end of the building formerly were used for the milk cows. Feed bunks are located along the wall of the stalls.

The interior of the east wing is finished in the same manner as that of the west wing. It also contains two stalls with feed bunks, but they are located at the south end of the space. A wooden gate separates the stalls from the remainder of the first floor. A board and batten door in the center of the west wall formerly led to the interior of the central volume. However, this doorway as well as an opening between the half stories of the wing and the central volume have been blocked by the plywood walls and ceiling of the new room in the central volume.

Condition

The Barn is in good condition but there are some problems with the structure that could cause the building to fail and collapse in certain areas. The concrete pier foundation under the east wing side has a lot of rot and deterioration of the sill logs as well as the concrete piers themselves. The settlement in the southeast corner of the Barn has also caused some of the shed roof structure to collapse causing a hole in the roof. Water can penetrate further into the structure and cause damage. There is some additional rot in the sill logs on the west shed roof wing because of the soil build-up around that side and part of the north side. The roof over this part of the building is in good condition. However, additional support had to be put in the interior of the west shed roof to support the structure during heavy snow loads.

The log walls are very dry and checked throughout the building and there is additional rot in the wall logs especially on the east side. The wall logs are dry and checked. The roofing over the main gambrel roof is gone and the wood sheathing and structure is exposed. The front of the central section of the building is supported by a concrete slab foundation that was put in to create a new space within the Barn structure. The slab ties into the side walls of the central structure but does not support the north wall.

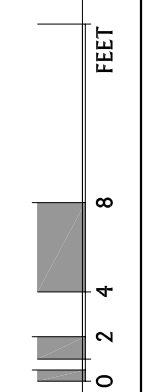
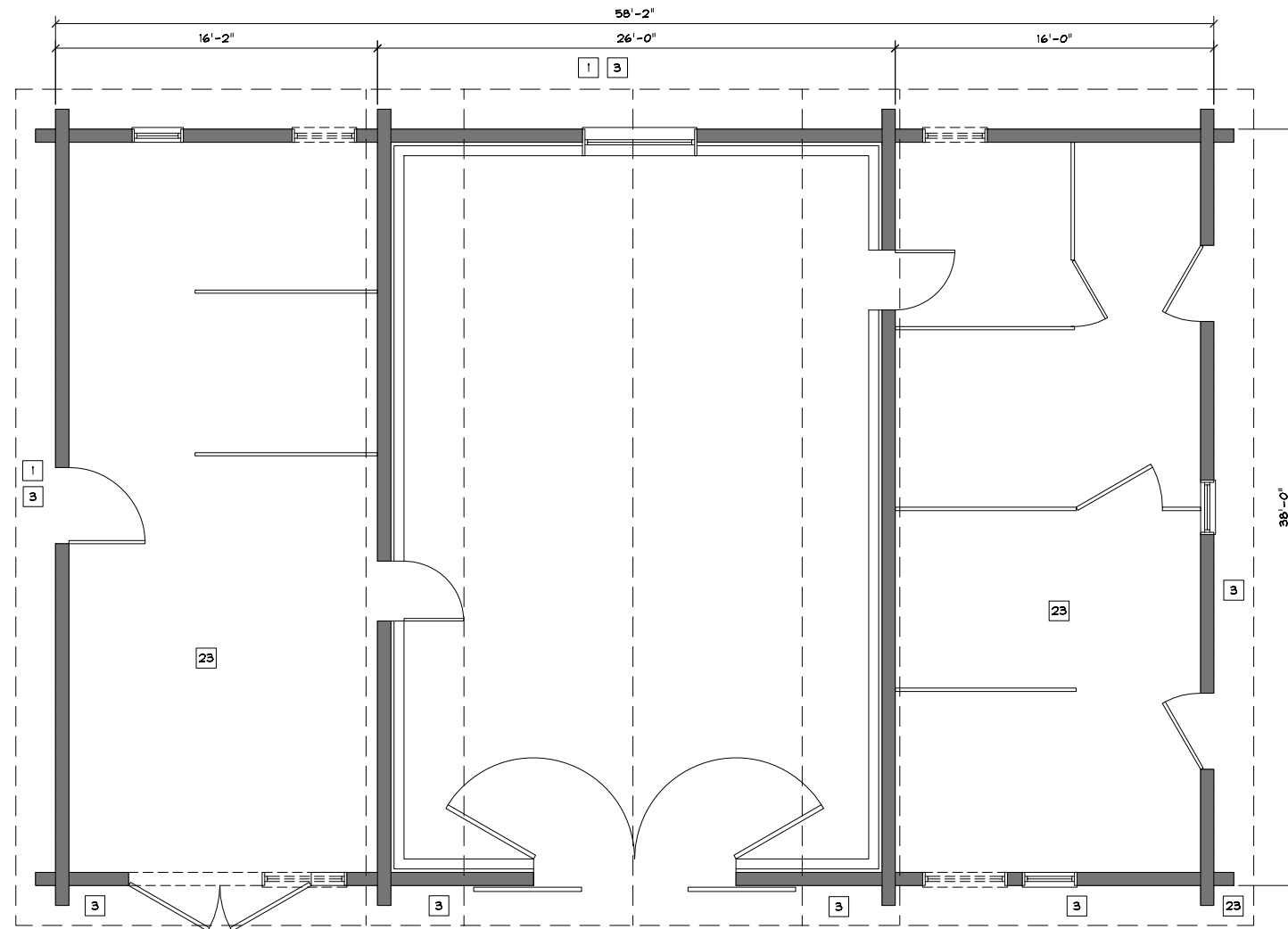
The ends of the gambrel roof have weathered boards and there is some dry rot in the material. The doors are dried out and in some cases are warped. Pieces of the door are missing and they are coming apart in some cases.

The interior of the central section of the Barn has a wood frame structure with plywood paneling that on the walls and ceiling. There is a sheet asphalt roof over the structure where the floor of the hay loft was cut out. The interior of the east shed section has the original horse stalls and wood plank floor that has seen a lot of wear and some deterioration because of the water penetration. The interior of the west shed section still has some of the dairy stalls but has been opened up towards the front requiring additional supports in the winter time.

Figures 190 through 205 show the existing conditions of the Barn.

CONDITION KEY NOTES

1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
4	ROTTED WALL LOGS	17	TREES AND VEGETATION AGAINST BUILDING
5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



BARN #413

DRAWING

PROJECT

OWNER

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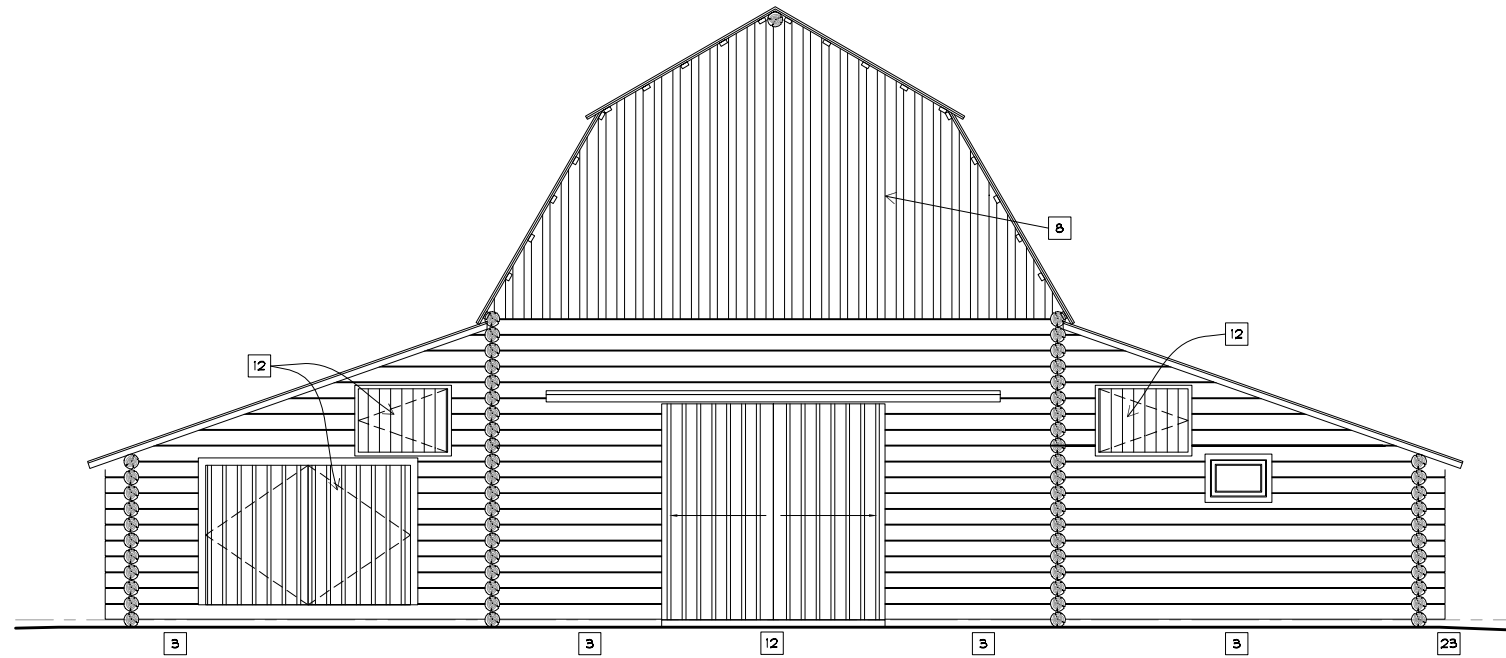
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FIGURE

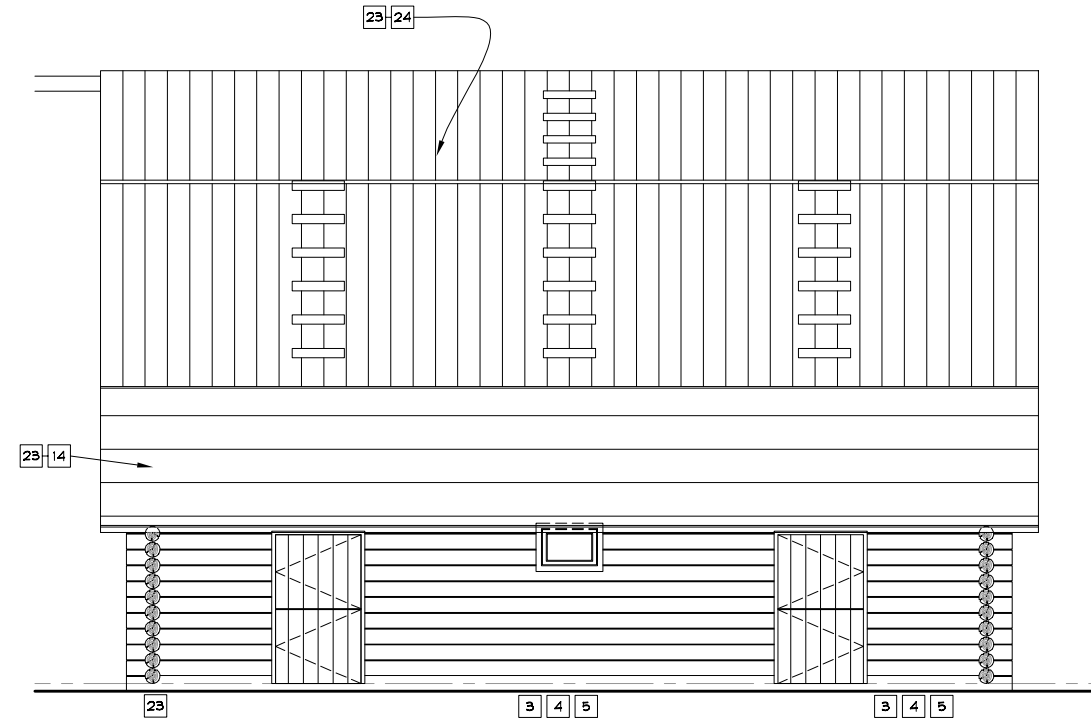
188

CONDITION KEY NOTES

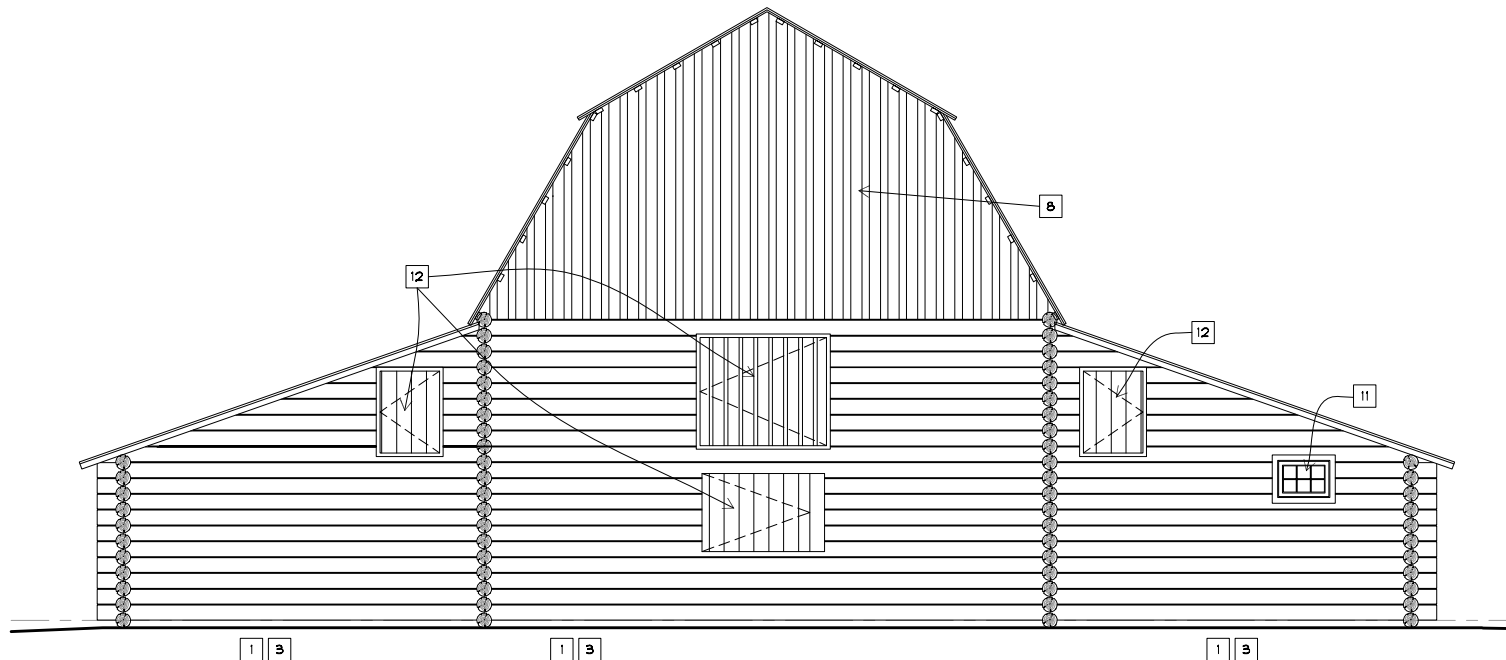
1	SOIL BUILDUP ON LOGS	14	ASPHALT ROOF DAMAGE
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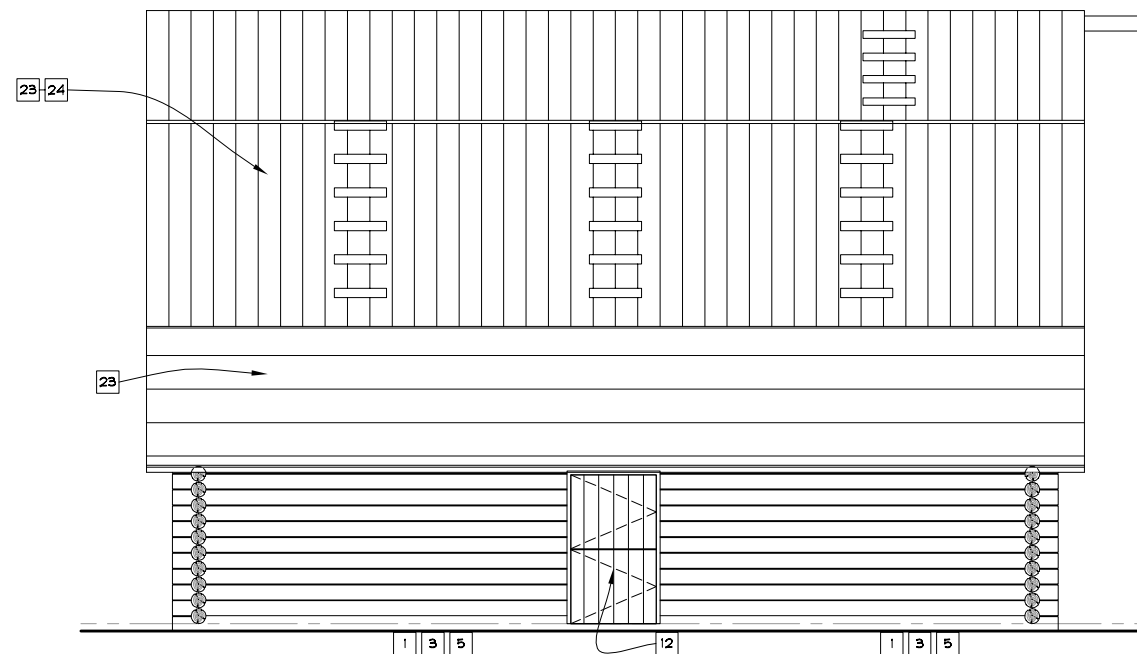
6 SOUTH ELEVATION



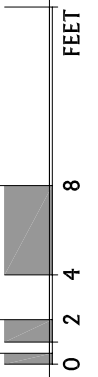
9 EAST ELEVATION



16 NORTH ELEVATION



19 WEST ELEVATION



BARN #413

DRAWING

PROJECT 4 LAZY F RANCH

OWNER GRAND TETON NATIONAL PARK, WYOMING

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FIGURE

189



Figure 190 – Looking north at the front façade of the Barn. The log base and board and batten upper portion of the gambrel roof end are generally in good condition. There is some warping of the boards.



Figure 191 – Looking north at the wood sliding doors. They are warped and in fair condition.



Figure 192 – Looking north at the east shed roof structure. The sill logs span the gap between the concrete piers that are showing some deterioration.



Figure 193 – Looking northwest along the front of the building showing the log work. The center section has a concrete foundation that helps to support the front wall and is in good condition. The shed roof structure has some settlement under the doors that are in poor condition.



Figure 194 – Looking northeast at the Barn. There is some settlement in the log walls which show up in the eave of the roof. The sheet asphalt is in good condition but the board and batten roof of the central section is in poor condition.



Figure 195 – Looking east at a door in the west wall. The door is in poor condition and there is rot in the sill logs because of the soil build-up around the base on this side of the building.



Figure 196 – Looking south at the gambrel end of the roof and log structure below. The boards and battens are warped and weathered. The doors in the lower section are in poor condition.



Figure 197 – Looking northwest at the Barn. The upper roof is in poor condition. The wall logs are dry.



Figure 198 – Looking west at a section of the shod roof wing of the Barn. Note the damaged sheet asphalt roof where there is some damage to the structure below. Also the base logs are rotted and the logs are not properly supported at the base. The door is in poor conditional.

**HS – 413 Barn
Interior Photos**



Figure 199 – Looking north at the room within the gambrel center section of the Barn. There is a new concrete floor, framed walls and plywood paneling. There is a roof with sheet asphalt on top in the loft area.



Figure 200 – Looking north at the interior of the west wing. There is some rot in the floor and the structure for the roof needs to have additional supports to take care of the snow loads on the building.



Figure 201 – Looking north at some of the original stalls for horses and dairy cows in the west wing.



Figure 202 – Looking south at the stalls in the east wing of the Barn.



Figure 203. – Looking south at the log rafters in the east wing. There is some damaged structure on the south end allowing water to penetrate and in turn causing rot in the wood materials.



Figure 204. – Looking west at the frame structure that was built in the center section of the Barn. Note the sheet asphalt roof over the structure.



Figure 205 – Looking south at the structure of the gambrel roof and end. Note the openings in the roof and gambrel end. There is some rot in the wood structure. Note the sheet asphalt roof of the structure below.

The Tack Room is a one-story, rectangular log building with a side-gable roof built on concrete block and stone footings (Figure 206). This building, moved to its current location by the Oliver's, may represent one of Bryant Mears' homestead buildings. Unlike the majority of the buildings at the 4 Lazy F, the Tack Room is joined at the corners with square notches, nailed in place. Green rolled asphalt roofing covers the roof, which has exposed log purlin ends; a metal stove pipe extends from the southeast corner of the roof. The exterior walls exhibit a combination of cement daubing and chinking with split poles nailed in place. A frame lean-to addition has been constructed on the north end of the original log volume, to be used for saddle storage during the operating season. The windows and doors are trimmed with plain boards; those on the west and south walls are painted red. A section of pole corral ties to the northwest corner of this building.

The west (front) wall contains a wide entry at the south end of the wall and two, six-by-six-light sliding windows north of the entry. The entry contains a hinged board and batten door, which is painted red. The south side wall has a two-light fixed window in the west half and a six-by-six-light sliding window in the east half. The east (rear) wall has a six-by-six-light sliding window located in the north half of the wall. A wooden structure that supports a metal fuel tank is attached to the south half of the wall.

The north side wall is covered by the shed-roof lean-to. A window-opening in the west end of the wall has been boarded over from the outside; an entry with a board and batten door is located at the east end of the wall.

The lean-to itself is made of rough-cut dimensional lumber. The west and east sides are enclosed with unpeeled log slabs, while the north side is open except for some log rails and a gate built between the vertical log roof supports. This portion of the building has a wood plank floor and contains wooden saddle bucks.

HS – 414 Tack Room**Interior Description**

The interior of the main volume contains two rooms—a work room in the south and living quarters in the north. The work room in the south half of the building has a concrete floor and walls chinked with split poles. The dropped ceiling is covered with plywood. A wood work bench is located along the south interior wall beneath the window; a small wood-burning stove and a utility sink are located along the east wall. Log slabs cover the north interior wall of this room, which also contains some shelving units. A doorway in the west end of the north wall leads to the north room.

The walls and dropped ceiling of the north room are covered with Celotex. The floor, which is slightly higher than that of the south room, is covered with boards. A board-and-batten door at the east edge of the north wall leads to the lean-to addition.

Condition

The Tack Shed is in good condition with some exceptions. The log walls are dry and checked and there is some rot in the sill logs and the next log in some cases on the east and south walls. This is due to soil accumulation around the base of these sections of the building. The daubing is missing in several areas of the log work especially on the east and west sides. The frame addition on the north side of the building with its board and batten siding has some rot in the base structure and the boards are weathered and show some dry rot. The roof is in good condition.

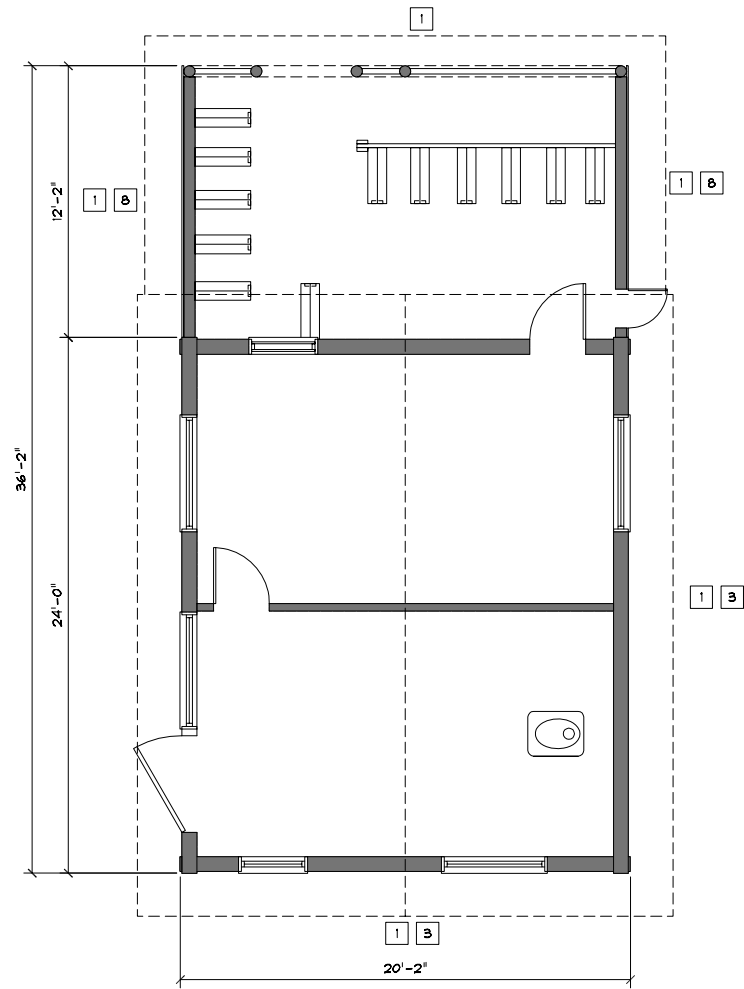
The windows are weathered and in some cases the sills are rotted. Some of the glazing is missing or deteriorating. The doors are also weathered with the exception of the main door which is worn but in better condition. The open ended area of the tack shed is worn and there is some rot in the floor.

The materials in the interior of the tack shed are worn and there is some damage because of previous water leaks. The electrical system as well as water and sewer have been abandoned. The existing systems would not be adequate for potential new uses.

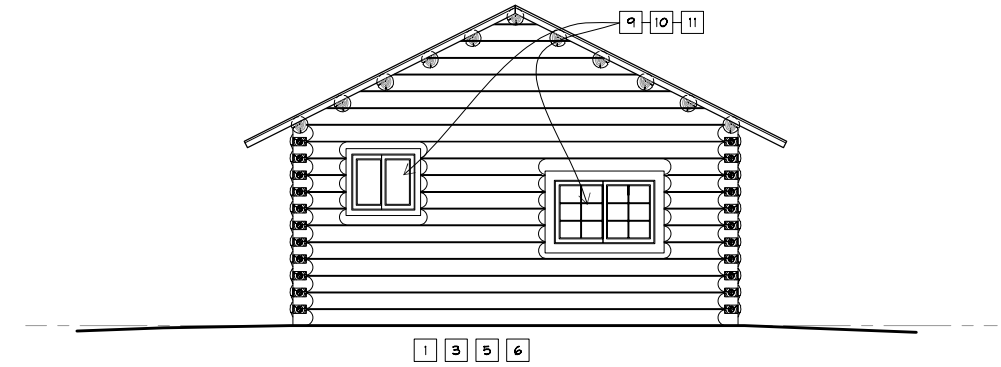
Figures 207 through 217 show the existing conditions of the Tack Room

CONDITION KEY NOTES

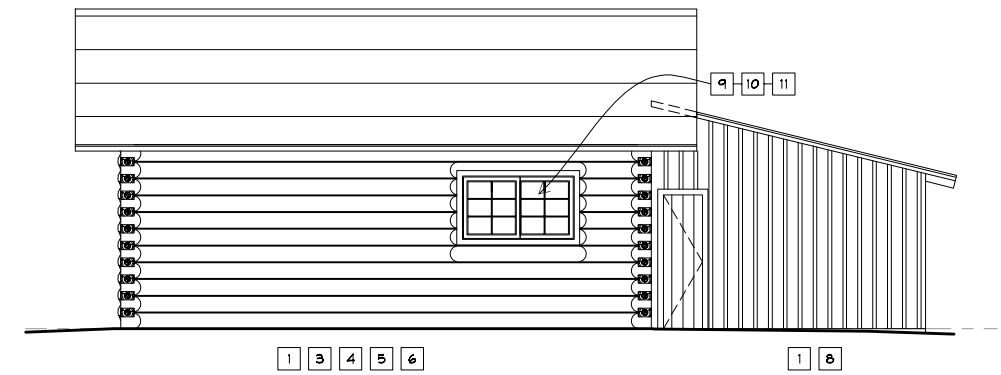
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2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
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5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
6	DAUBING MISSING	19	FLOOR SETTLEMENT, CAUSE UNKNOWN
7	WOOD FRAME STRUCTURE DETERIORATED	20	CONCRETE DETERIORATION
8	WOOD SIDING DETERIORATED	21	WATER STAINS
9	WOOD TRIM DETERIORATED	22	ROTTED PORCH BOARDS
10	PAINT DETERIORATED	23	STRUCTURAL DEFICIENCIES
11	WEATHERED AND ROTTED WINDOWS	24	BOARD ROOF DETERIORATED
12	WEATHERED AND ROTTED DOORS	25	ROOF COLLAPSED
13	WEATHERED AND ROTTED SCREEN DOORS		



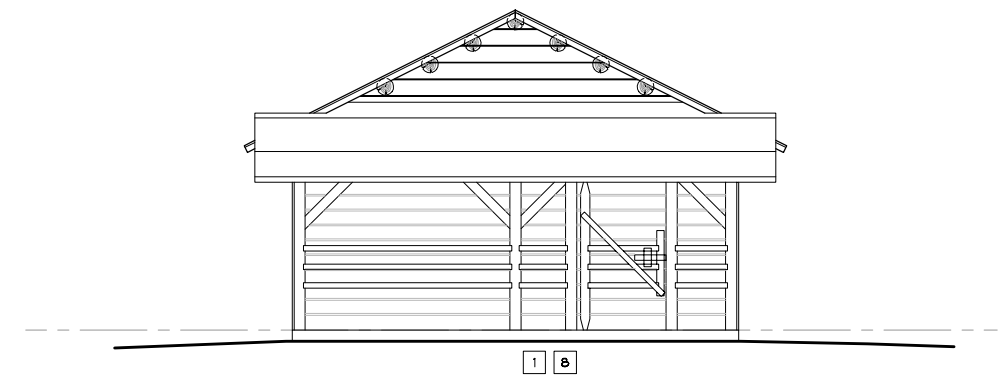
16 PLAN



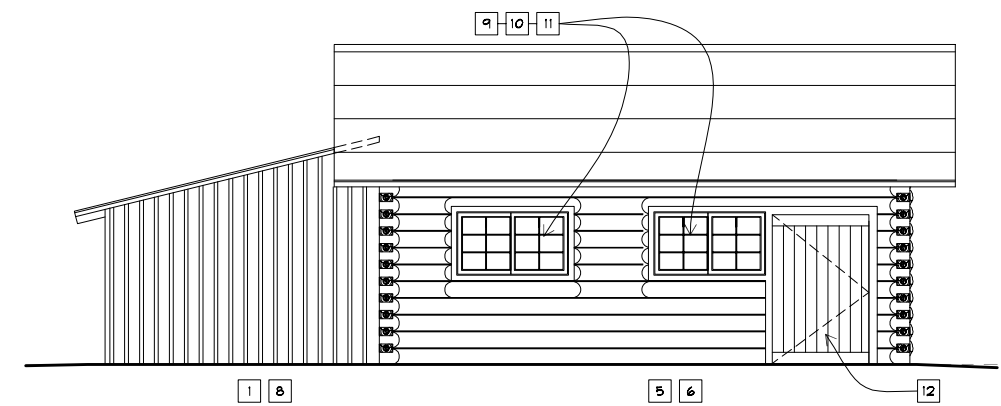
4 SOUTH ELEVATION



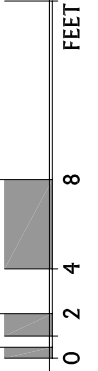
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



TACK BARN #414

DRAWING

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FIGURE

206



Figure 207 – Looking northeast at the Tack Room. The wall logs are in good condition with the exception of some rotted sill logs on the east side. The roof is in good condition.



Figure 208 – Looking east at the door and window on the west side of the building. They are in good condition with some weathering of the window sill and base of the door.



Figure 209 – Looking east at the wood frame board and batten addition on the back of the log volume. The wall is weathered and the bottom of the siding has rotted.



Figure 210 – Looking south at the open end of the shed-roof addition. A pole fence closes off the shed where tack was kept. There is some rot in the base of the floor and the posts of the fence. Most of the wood is very dry.



Figure 211 – Looking east along the back wall of the log Tack Room. Note the door that leads to the north room of the log volume.



Figure 212 – Looking east at the tack area in the shed. Most of these materials are weathered but in good condition.



Figure 213 – Looking west at a typical wood sliding window on the Tack Room. The window is in poor condition. The log walls are dry but the daubing appears to be generally in good condition.



Figure 214 – Looking northwest at the Tack Room. Note the soil accumulation around the south and east sides of the building. The sill logs and some wall logs are rotted in this area.

HS -414 Tack Room

Interior Photos



Figure 215 – Looking east at the interior of the first room in the Tack Room. Note the wood stove. Most of the materials are in good condition.



Figure 216 – Looking north at the doorway to the north room in the log volume. Note the transition from concrete floors to a wood floor. There are water stains on the base of all of the woodwork.



Figure 217 – Looking east at the north room in the log volume. Note the Celotex walls and ceiling.

HS – 415 Chicken Coop**Exterior Description**

The Chicken Coop is a rectangular log structure with a shed roof, built on grade (Figure 218). The wall logs are joined with saddle notches, and are daubed with cement mortar on the exterior. Original roofing material appears to have been boards stacked on boards. One of the log roof purlins and part of the top log in the rear wall have rotted through causing the rear part of the roof to collapse. Sections of green rolled asphalt appear to have been applied to the rear edge of the roof prior to its collapse. Segments of pole corral fence tie in to the southwest and southeast corners of the Chicken Coop.

The south wall of the building has a long narrow opening with boards nailed vertically to the inside of the wall. A vertical board and batten door in the east wall leads to the interior.

HS – 415 Chicken Coop**Interior Description**

The interior walls are chinked with split poles nailed in place. A pole and board partition divided the interior of the coop into two equal parts.

Condition

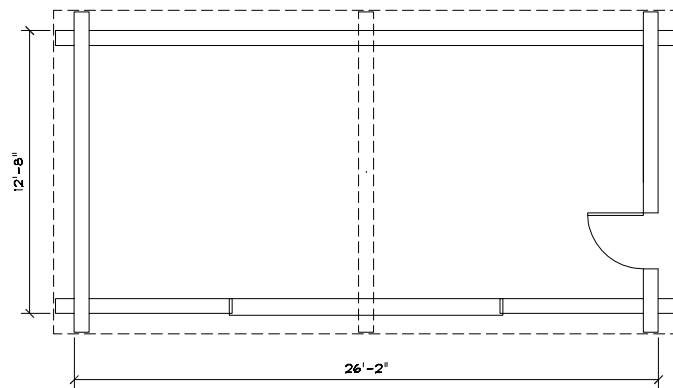
The Chicken Coop is in poor condition. The roof has collapsed into the interior causing the walls to also start to collapse. There is a lot of rot in the base logs on the west and north sides caused by soil accumulation along the base of the building. There is some rot in the sill logs on the east and south sides. The remaining logs are weathered and dry and there is no daubing in the building. The door has been removed from the building and there are no windows in the openings.

The poor condition suggests that the building would not be able to be saved without major reconstruction. There are no electrical or mechanical systems in the structure.

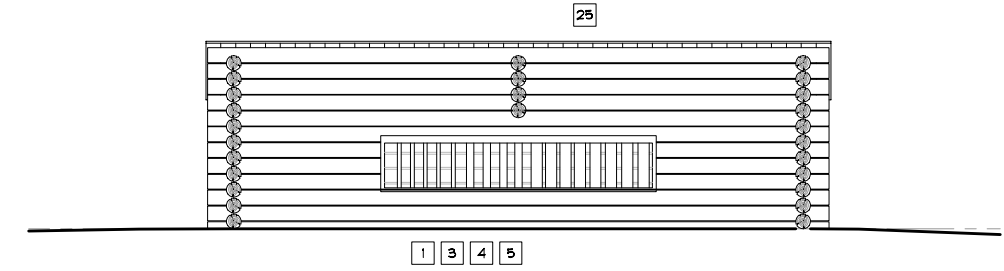
Figures 219 through 222 show the existing conditions of the Chicken Coop.

CONDITION KEY NOTES

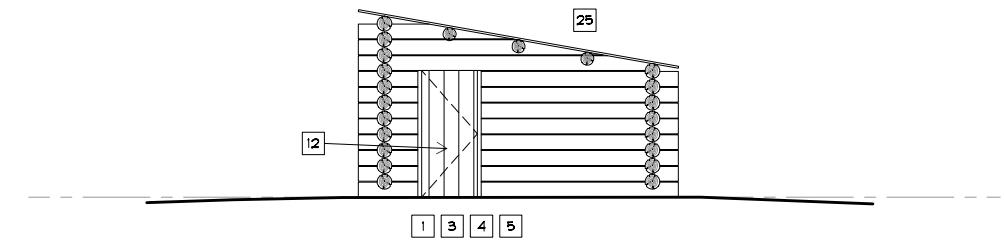
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2	WATER DAMAGE TOWARDS BUILDING	15	EAVE DAMAGE
3	ROTTED SILL LOGS	16	FLASHING DETERIORATED
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5	WALL LOGS DRAY AND CHECKED	18	MORTAR MISSING
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13	WEATHERED AND ROTTED SCREEN DOORS		



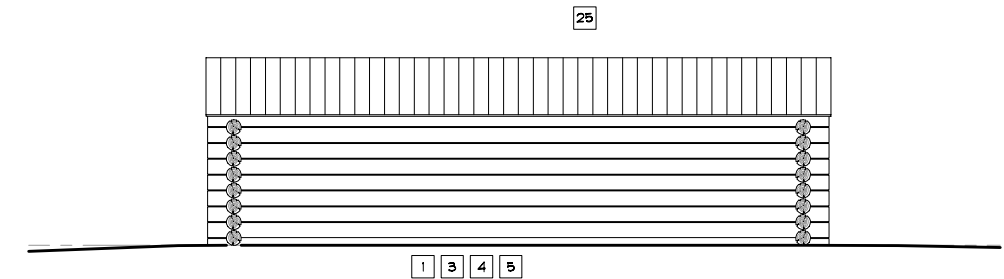
16 PLAN



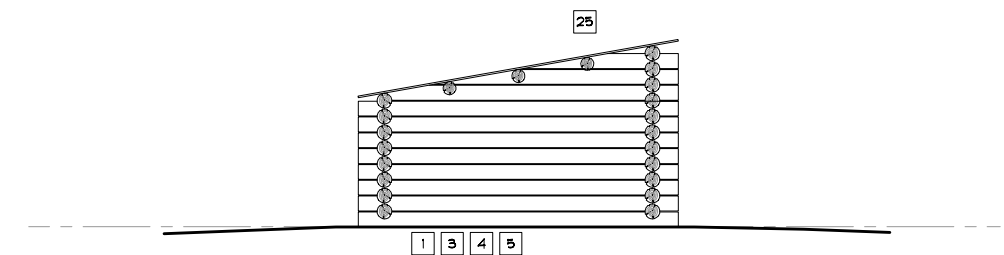
4 SOUTH ELEVATION



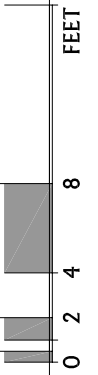
9 EAST ELEVATION



14 NORTH ELEVATION



19 WEST ELEVATION



CHICKEN COOP #415

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FIGURE

218



Figure 219 – Looking north at the front façade of the Chicken Coop. This log wall is in good condition although it is weathered and dry.



Figure 220 – Looking east at the end of the Chicken Coop. Note the collapsed roof causing the walls to fail also.



Figure 221 – Looking east at the interior of the collapsed building.



Figure 222 – Looking west at the wall of the Chicken Coop. There appears to be rot in all of the sill logs and upper parts of the walls which did support the roof.

Part 2. Treatment

Management Philosophy and Primary Treatment

The buildings at the 4 Lazy F Ranch are an important component of a historic district in Grand Teton National Park. The majority of the extant buildings are listed on the National Register of Historic Places. At the present time the buildings are vacant, but are being maintained by the National Park Service. The National Park Service proposes to preserve and maintain the 4 Lazy F Ranch and the historical and architectural integrity of the buildings. Various uses are being considered to determine the best compatible use that will result in the retention of the site's historical integrity. This report has identified the character-defining features of the buildings and their current condition. The level of treatment proposed for the buildings is "rehabilitation," with preservation of the character defining features of the buildings and the site. Structural additions should be kept to a minimum and defined by the present scale, texture, and continuity of the ranch buildings.

General Recommendations

As part of any use for the site, the 4 Lazy F Ranch should also be interpreted for the visitors to Grand Teton National Park. A preservation maintenance plan should also be prepared for future maintenance of the site and buildings. Prior to preparation of that plan the buildings should be tested for asbestos.

In the development of the site and buildings, it is recommended that the Lodge and Cabins be used for housing. The other buildings should supplement that use. Housing would have the least impact and the building could easily be adapted.

Character-Defining Features & Spaces - Zones of Significance

This section contains the relative zones of significance present at the 4 Lazy F Ranch. For the purposes of this analysis, A&E Architects surveyed the exteriors and interiors of each building in the complex, including all exterior facades and interior spaces, and evaluated their relative significance by placing them in three categories: Primary Significant (Primary), Secondary Significant (Secondary) and Non-Contributing. These categories are defined below. Also included are preliminary treatment guidelines derived from *Director's Order 28, National Park Service Standards for Treatment of Historic and Prehistoric Properties (DO-28)*. Although similar to the more commonly used *Secretary of the Interior's Standards, DO-28* has been specifically devised for NPS properties and it is more stringent.

Primary Significant

Definition: Elements or materials characterized by a high degree of architectural significance and a high degree of historic integrity.

Preliminary Guideline: All primary significant exterior and interior features and materials should be retained and preserved, or where alterations have occurred, be restored. Deteriorated materials shall be repaired rather than replaced. Where replacement is necessary due to extensive material deterioration or failure, replacement materials shall match the original materials and forms.

Secondary Significant

Definition: Elements characterized by a lesser degree of architectural significance, yet retain a high degree of historic integrity, or historically important, yet altered elements.

Preliminary Guideline: It is recommended that secondary significant elements be retained, wherever possible. Where required, alterations and additions shall be designed to be compatible with the existing elements and materials. New materials and assemblies at reconstructed areas shall be similar to the original.

Non-Contributing

Description: Non-Contributing elements are generally non-historic elements or elements that have been altered to the extent that their original character is absent.

Preliminary Guideline: Non-Contributing elements are not specifically limited by preservation recommendations, except to note that the overall character of alterations to an historic building must meet the more general requirements set forth in *DO-28*.

The term 'Original' is used to distinguish those elements, which we believe are original to the construction of that building. The probable time of construction will be listed elsewhere in the HSR. There will certainly be elements such as wood shingles which have been replaced, and are therefore, not original, but still judged to be either Primary Significant or Secondary Significant because these materials have replaced original materials in kind.

Treatment Recommendations

Site

- Maintain existing roads and parking areas.
- Maintain existing fences and gates.
- Protect irrigation ditches and ditch features.
- Keep and maintain the lawn areas around the two clusters of buildings.
- Trim or remove dangerous trees—especially those adjacent to the buildings.
- Protect ornamental shrubs and flowers around the buildings especially the Lodge.
- Provide general vegetation management.

Lodge Cluster

HS – 399 Lodge (Main Cabin)

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish historic grade around foundation to provide for positive drainage around the building.

Walls – Primary Significant

- Replace rotted sill logs in-kind on all sides of the building.
- Apply a mixture of linseed oil and mineral spirits (a.k.a. FPL) treatment on the logs.
- Replace daubing and chinking in-kind as necessary in the areas of log replacement.

Windows – Primary Significant

- Maintain the existing windows. Minor refinishing of the sills is needed.

Doors – Primary Significant

- Maintain the existing doors and refinish as needed.

Stone Chimneys – Primary Significant

- Point in areas of missing mortar especially around the intersection of the log walls.

Roof - Primary Significant

- Patch and replace areas of deteriorated or damaged green sheet asphalt roofing. This occurs mainly on the area around the chimney.
- Repair flashing around the chimney to not only keep out the water but also help to keep out the bats.
- Extend flashing at the bottom of the valleys especially on the east side so that water moves away from the log notches at the intersection of the gable roofs.
- Repair wood soffit and eave material that is rotted on the areas around the chimney.
- Continue to support the roof structure from the inside during the winter months because of heavy snow loads. If the building is used on a year around basis the fix might have to become more permanent. A structural engineer with sensitivity to the historic significance of the rooms should be consulted.

Interior Features

Walls - Primary Significant

- Maintain all log walls. Use the FPL treatment on dry areas.
- The celotex walls in the bathroom will probably have to be replaced with sheetrock depending on the use.

Windows - Primary Significant

- Provide new finish to inside of windows especially the interior sills where there is some water stains and wear.

Doors - Primary Significant

- Refinish doors as necessary to repair any worn areas.

Floors – Secondary Significant

- Sand and refinish wood floors where worn especially in the Great Room. The floor needs to be stained to match and sealed. It appears that there is a wax on the floor.

Fireplaces – Primary Significant

- Clean out hearth and repair any fire brick areas. If the chimney is to be used it should probably be lined. If the chimney is not used, it should be capped without removing any portion that extends above the roof line.

Ceiling – Primary Significant

- Clean stained areas with a steam cleaner and refinish the wood with an FPL treatment.
- See structural note on the roof above.

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.
- Rewire any existing historic light fixtures and possibly existing outlets.
- The kitchen should be rewired as a commercial kitchen only if that is the use determined. This area could change though.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai (brand name) that can provide some ventilation also. The ventilation and exhaust venting is on the wall and is 2" in diameter with a 4" cover.
- The hood over the kitchen should be inspected along with the fire suppression system if it is to be used as a commercial kitchen.

HS – 403 Three-Bay Garage

Exterior Features

Foundation – Secondary Significant

- Reestablish the historic grade around the foundation to provide for positive drainage.
- Determine if the concrete foundation is good around the building. It appears that there is a concrete wall but how deep it goes is unknown until dug out.
- Provide support for the columns between the bays. This may require putting in a concrete foundation pier.

Walls – Primary Significant

- Replace rotted sill logs and wall logs in-kind on all sides of the building.
- Provide FPL treatment on the logs.
- Replace daubing in-kind throughout the log walls.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Roof – Primary Significant

- The roof is in good condition but should be maintained. There is some wear on the fascia. Also, the tree next to the building should be trimmed as necessary to keep branches from falling or rubbing on the roof.

Interior Features

Walls – Primary Significant

- Provide FPL treatment on the logs.
- Replace daubing in-kind throughout the log walls.

Windows – Primary Significant

- Restore wood window by glazing, cleaning of the wood, replacement of the wood where necessary and finish with a FPL treatment.

Ceiling – Secondary Significant

- Wood should be treated with an FPL treatment.
- Support as necessary during the winter months with the high snow loads that could occur in the area.

HS – 400 River Cabin (Non-Contributing)

Exterior Features

Foundation – Non-Contributing

- Maintain the concrete block foundation.
- Reestablish the historic grade around the building especially in the southwest corner and along the west side, to provide for positive drainage.

Walls – Non-Contributing

- Replace rotted sill logs in-kind on the west and part of the south wall.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.

Windows – Non-Contributing

- Maintain and refinish where worn.

Doors – Non-Contributing

- Maintain and refinish where worn.

Roof – Non-Contributing

- Maintain the existing roof.

Interior Features

Walls – Non-Contributing

- Steam clean water stains from the south wall and refinish logs in-kind

Windows – Non-Contributing

- Maintain and refinish as necessary.

Doors – Non-Contributing

- Maintain and refinish as necessary

Floors – Non-Contributing

- Maintain and refinish as necessary

Ceiling – Non-Contributing

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 400A Curing House

Exterior and Interior Features (Secondary Significant)

- Stabilize the building on a wood foundation and restructure to keep the walls and roof together. This may mean a structure within the structure.
- Replace rotted roof sheathing and put green sheet asphalt roof over the structure.

HS – 401 Nurses' Cabin

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish the historic grade on all sides of the building to provide for positive drainage away from the building.
- The log walls and foundation will have to be dug out and a large area regraded.

Walls – Primary Significant (original) -- Non-Contributing (infill)

- Replace rotted sill logs and wall logs in-kind on all sides of the building.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.
- The frame area also has a rotted based in the sill plate and the base of the wood siding. The wood is weathered and worn and requires replacement in-kind in damaged areas and treated with an FPL treatment also.

Windows – Primary Significant (original) -- Non-Contributing (infill)

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate

Doors – Primary Significant

- Restore wood doors by cleaning of the wood, replacement as necessary and finish with an FPL treatment.

Roof – Primary Significant

- Replace the green asphalt roof where necessary especially along the intersection of the roof and log walls. Metal flashing should also be added to the wall and roof connection and used to divert the water away from the logs.

Interior Features

Walls – Secondary Significant

- Maintain and refinish as necessary. The walls of the later addition should be maintained depending on the use of the building.

Windows – Secondary Significant

- Maintain and refinish as necessary.

Doors – Secondary Significant

- Maintain and refinish as necessary

Floors – Secondary Significant

- Maintain and refinish as necessary

Ceiling – Secondary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 404 George’s Cabin

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish the historic grade around building foundation, especially the on the north and east sides of the building.

Walls – Secondary Significant

- Replace rotted sill logs in-kind on the north and east sides of the building.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.
- The frame area also has a rotted base in the sill plate and the base of the wood siding. The wood is weathered and worn and requires replacement in-kind in damaged areas and treated with an FPL treatment also.

Windows – Secondary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate

Doors – Secondary Significant

- Restore wood doors by cleaning, repair or replacement of wood members as necessary and finish with an FPL treatment or paint as appropriate.

Roof – Primary Significant

- Maintain the existing roof.

Interior Features

Walls – Secondary Significant

- Maintain and refinish as necessary. The walls of the later addition should be maintained depending on the use of the building.
- Steam clean the water stains on the log walls and refinish in-kind

Windows – Secondary Significant

- Maintain and refinish as necessary.

Doors – Secondary Significant

- Maintain and refinish as necessary

Floors – Secondary Significant

- Maintain and refinish as necessary

Ceiling – Secondary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 404A Smoke House

Exterior and Interior Features (Secondary Significant)

- Stabilize the building on a wood foundation and restructure to keep the walls and roof together. This may mean a structure within the structure.
- Repair the wood siding as necessary and finish all wood with an FPL treatment.
- Replace rotted roof sheathing and put green sheet asphalt roof over the structure.
- Point and repair brick firebox.

HS – 406 Ice House

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish historic grade around the foundation where soil has built up, especially on the southwest corner of the building, to provide positive drainage away from the building.

Walls – Primary Significant

- Replace rotted sill logs in-kind on the southwest corner of the building. Stabilize the corner by leveling of the building on the slab.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.

Doors – Secondary Significant

- Replace any rotted area of the base.
- Refinish with an FPL treatment.

Roof – Primary Significant

- Repair damaged roof on the west side.
- Trim tree to keep any branches from falling on the roof and damaging the material.

Interior Features

Walls – Non-Contributing

- Maintain and refinish as necessary.

Doors – Non-Contributing

- Maintain and refinish as necessary.

Floors – Non-Contributing

- Maintain and refinish as necessary.

Ceiling – Non-Contributing

- Maintain and refinish as necessary.

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- A new use will determine if there are any mechanical systems needed in the building.

HS – 405 Mouse House

Exterior Features

Foundation – Secondary Significant

- Maintain concrete pier foundation.
- Reestablish historic grade around the foundation, especially on the south side, to provide positive drainage away from the building

Walls – Primary Significant

- Repair and replace board and batten wood siding where rotted or loose in-kind.
- Treat all wood with an FPL treatment.

Doors – Secondary Significant

- Repair and replace broken or rotted base areas in-kind.
- Treat all wood with an FPL treatment.

Roof – Primary Significant

- Repair loose asphalt sheet roofing.

Interior Features

Walls – Non-Contributing

- Maintain and refinish as necessary.

Doors – Non-Contributing

- Maintain and refinish as necessary.

Floors – Non-Contributing

- Maintain and refinish as necessary.

Ceiling – Non-Contributing

- Maintain and refinish as necessary.

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- A new use will determine if there are any mechanical systems needed in the building.

HS – 407 End Cabin

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish historic grade around the foundation, especially on the east, south and west sides to provide positive drainage away from the building.
- Also provide positive drainage from under and away on the bathroom addition. Protect the concrete piers from undermining.
- The areas around the log columns on the concrete front porch should be cut out and a thickened slab added to support the columns. The columns should be repaired or replaced to support the roof.

Walls – Primary Significant

- Replace rotted sill logs in-kind on the east, south, and west sides of the building. The next log on the east side will also have to be replaced in-kind
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Maintain and refinish where worn. The screen doors need to be rebuilt and finished.

Roof – Primary Significant

- Maintain the existing roof.

Interior Features

Walls – Primary Significant (original) -- Non-Contributing (bathroom)

- Maintain and refinish as necessary. The bathroom walls will have to be steam cleaned to remove water stains and refinished.

Windows – Primary Significant

- Maintain and refinish especially where there are water stains.

Doors – Primary Significant

- Maintain and refinish as necessary

Floors – Primary Significant

- Maintain and refinish as necessary

Ceiling – Primary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 408 Middle Cabin

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish historic grade around the foundation, especially on the east, south, and west sides, to provide positive drainage away from the building.
- Also provide positive drainage from under and away on the bathroom addition. Protect the concrete piers from undermining.
- The areas around the log columns on the concrete front porch should be cut out and a thickened slab added to support the columns. The columns should be repaired or replaced to support the roof.

Walls – Primary Significant

- Replace rotted sill logs in-kind on the east, south, and west sides of the building. The next log on the east side will also have to be replaced in-kind
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Maintain and refinish where worn. The screen door needs to be rebuilt and finished.

Roof – Primary Significant

- Maintain the existing roof. Repair porch eave where damaged.

Interior Features

Walls – Primary Significant (original) -- Non-Contributing (bathroom)

- Maintain and refinish as necessary. The bathroom walls will have to be steam cleaned to remove water stains and refinished.

Windows – Primary Significant

- Maintain and refinish especially where there are water stains.

Doors – Primary Significant

- Maintain and refinish as necessary

Floors – Primary Significant

- Maintain and refinish as necessary

Ceiling – Primary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 408 Mrs. Oliver’s Cabin

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish historic grade around the foundation, especially on the east, south, and west sides, to provide positive drainage away from the building.
- Also provide positive drainage from under and away on the bathroom addition. Protect the concrete piers from undermining.
- The areas around the log columns on the concrete front porch should be cut out and a thickened slab added to support the columns. The columns should be repaired or replaced to support the roof.

Walls – Primary Significant

- Replace rotted sill logs in-kind on the east, south, and west sides of the building.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Maintain and refinish where worn. The screen door needs to be rebuilt and finished.

Roof – Primary Significant

- Maintain the existing roof. Repair porch eave where damaged.

Interior Features

Walls – Primary Significant (original) -- Non-Contributing (bathroom)

- Maintain and refinish as necessary. The bathroom walls will have to be steam cleaned to remove water stains and refinished.

Windows – Primary Significant

- Maintain and refinish especially where there are water stains.

Doors – Primary Significant

- Maintain and refinish as necessary

Floors – Primary Significant

- Maintain and refinish as necessary

Ceiling – Primary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. There is electric baseboard in the cabin at this time but should be replaced. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 410 Harry's Cabin

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish the historic grade around the foundation to provide positive drainage away from the building.
- The log walls and foundation will have to be dug out and a large area regraded.
- The front porch and the log columns should be rebuilt with a good concrete pier foundation.

Walls – Primary Significant

- Replace rotted sill logs and wall logs in-kind on all sides of the building. The wall logs are especially rotted on the north side up to the window and somewhat on the east and west sides.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Maintain and refinish where worn. The screen door needs some repair and finishing.

Roof – Primary Significant

- Maintain the existing roof.

Interior Features

Walls – Secondary Significant

- Maintain and refinish as necessary.

Windows – Secondary Significant

- Maintain and refinish as necessary.

Doors – Secondary Significant

- Maintain and refinish as necessary

Floors – Secondary Significant

- Maintain and refinish as necessary

Ceiling – Secondary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 411 New Cabin (Non-Contributing)

Exterior Features

Foundation – Non-Contributing

- Maintain the concrete foundation.
- Provide for positive drainage around the building.

Walls – Non-Contributing

- Provide FPL treatment on the logs.

Windows – Non-Contributing

- Repair broken wood pieces.
- Apply FPL treatment to wood.

Doors – Non-Contributing

- Maintain and refinish where worn.

Roof – Non-Contributing

- Maintain the existing roof.

Interior Features

Walls – Non-Contributing

- Maintain and refinish as necessary.

Windows – Non-Contributing

- Maintain and refinish as necessary.

Doors – Non-Contributing

- Maintain and refinish as necessary

Floors – Non-Contributing

- Maintain and refinish as necessary

Ceiling – Non-Contributing

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

Well Housing (Non-Contributing)

Exterior and Interior Features – Non-Contributing

- Stabilize the building on a wood foundation and restructure to keep the walls and roof together.

- Repair the wood siding as necessary and finish all wood with an FPL treatment.
- Replace rotted roof sheathing and put green sheet asphalt roof over the structure.

Caretaker's Building Cluster

HS – 412 Caretaker's House

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete foundation.
- Reestablish the historic grade around all sides of the foundation to provide positive drainage away from the building.

Walls – Primary Significant (original) -- Non-Contributing (infill)

- Replace rotted sill logs in-kind on all sides of the building.
- Replace rotted log ends on the east side of the building on each side of the chimney.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement.
- The frame area also has a rotted base in the sill plate and the base of the wood siding. The wood is weathered and worn and requires replacement in-kind in damaged areas and treated with an FPL treatment also.

Windows – Primary Significant (original) -- Non-Contributing (infill)

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Maintain the existing doors and refinish as needed.

Stone Chimneys – Primary Significant

- Point in areas of missing mortar especially around the intersection of the log walls.

Roof – Primary Significant

- Patch and replace areas of deteriorated or damaged green sheet asphalt roofing. This occurs mainly on the area around the chimney and on the east side.
- Repair flashing around the chimney to not only keep out the water but also help to keep out the bats.
- Extend flashing at the bottom of the valleys especially on the east side so that water moves away from the log notches at the intersection of the gable roofs.
- Repair wood soffit and eave material that is rotted on the areas around the chimney.
- Continue to support the roof structure from the inside during the winter months because of heavy snow loads. If the building is used on a year around basis the fix might have to become more permanent. A structural engineer with sensitivity to the historic significance of the rooms should be consulted.

Interior Features

Walls – Secondary Significant

- Maintain all log walls. Use the FPL treatment on dry areas.

Windows – Secondary Significant

- Provide new finish to inside of windows especially the interior sills where there is some water stains and wear.

Doors – Secondary Significant

- Refinish doors as necessary to repair any worn areas.

Floors – Secondary Significant

- Remove the carpet from the wood floors. Sand and refinish wood floors where worn especially in the Great Room. The floor needs to be stained to match and sealed. The extent of this work will have to be determined after the carpet is removed.

Fireplace – Secondary Significant

- Clean out hearth and repair any fire brick areas. If the chimney is to be used it should probably be lined or if not used capped off.

Ceiling – Secondary Significant

- Clean stained areas with a steam cleaner and refinish the wood with an FPL treatment.
- Paint all sheetrocked areas.
- See structural note on the roof above.

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.
- The kitchen should be rewired as needed for whatever use is determined. This area could change though.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. There is electric baseboard in the cabin at this time but should be replaced. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 412A Caretaker's Outhouse

Exterior and Interior Features - Secondary Significant

- Stabilize the building on a wood foundation and restructure to keep the walls and roof together.
- Repair the wood log siding as necessary and finish all wood with an FPL treatment.
- Replace rotted roof sheathing and replace with a board and batten room.
- The door needs to be rebuilt and treated with an FPL treatment.

HS – 412B Caretaker's Garage

Exterior Features

Foundation – Secondary Significant

- Reestablish the historic grade around the foundation to provide positive drainage away from the building.
- Determine if the concrete foundation is good around the building. It appears that there is a concrete wall but how deep it goes is unknown until dug out.

Walls – Secondary Significant

- Replace rotted sill logs and wall logs in-kind on all sides of the building.
- The front walls around the door opening should be pulled back together to straighten up and tie into the foundation. The corners of the opening should be anchored to the foundation. Provide temporary supports on the interior roof structure to make sure snow loads will not make the situation worse until fixed.
- Apply FPL to the logs.
- Replace daubing in-kind throughout the log walls.

Windows – Secondary Significant

- Restore the wood windows with a small paned window similar to one sash of the Three-Bay Garage windows.
- The wood jamb, head, sill and trim should be treated with FPL.

Roof – Secondary Significant

- The board-on-board roof needs to be rebuilt in-kind. The roof is especially bad on the west side and many of the boards will have to be replaced. Also, the tree next to the building should be trimmed as necessary to keep branches from falling or rubbing on the roof.

Interior Features

Walls – Secondary Significant

- Provide FPL treatment on the logs.
- Replace daubing in-kind throughout the log walls.

Windows – Secondary Significant

- Restore wood window and finish with an FPL treatment.

Ceiling – Secondary Significant

- Wood should be treated with an FPL treatment.

HS – 413 Barn

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete slab and pier foundation. Replace the deteriorated concrete piers in-kind on the east side of the building. The piers should support the areas on each side of the door openings to maintain structural integrity.
- Reestablish the historic grade around the foundation, especially on the east and west sides, to provide positive drainage away from the building. The corral area will have to be graded not only for drainage but to keep from undermining the piers on the east side.

Walls – Primary Significant

- Replace rotted sill logs and wall logs in-kind on the east and west sides of the building.
- Provide FPL treatment on the logs.
- Replace daubing in-kind throughout the log walls.
- The board and batten siding in the gambrel ends should be repaired or replaced where necessary. The paint should be scraped and the wood primed and painted.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Rebuild all doors in-kind, replacing rotted materials, reattaching hardware, and treat with an FPL treatment.

Roof – Primary Significant

- The board and batten gambrel roof is in poor condition and needs to be repaired or replaced with a board and batten roof in-kind. The wood truss of the gambrel roof will also have to be repaired. The wood ladders should remain as part of the design.
- A temporary solution would be to cover the roof with a membrane or at least covered with the green sheet asphalt roofing that would last for a while until the board and batten roof can be re-built.

- The shed roof over the east wing needs to have the structure re-built in-kind and the green sheet asphalt roofing replaced. This needs to be accomplished as soon as possible to prevent further damage from winter snow loads.

Interior Features

Walls – Primary Significant (original) -- Non-Contributing (plywood)

- The walls of the interior need to be maintained and the walls that have been removed should be replaced especially around the stalls to give stability to the wings including the roofs.
- Temporary supports should still be used until the use is determined for the building and what will be replaced as walls.
- Depending on the use of the middle section the framed building with plywood walls and ceiling should be maintained. If it is determined to return it to a barn with a hay loft the structure should be removed and the log floor joists and wood floor for the loft should be replaced. It is unlikely that it would proceed to that point though.

Windows – Primary Significant

- Maintain and repair as necessary with the outside work.

Doors – Primary Significant

- Maintain and repair as necessary with the outside work.

Floors – Secondary Significant

- Replace rotted wood plank flooring in-kind and maintain all other wood floors.
- The hay and dirt should be cleaned out of the spaces to keep the wood from rotting and allow the wood to dry out.

Ceiling – Secondary Significant

- Maintain and repair as necessary as part of the roof and structural work.

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use. This would include lighting and outlets. The space would not be heated unless a totally new use was determined that would require heat. Electric baseboard heat would be possible.

HS – 414 Tack Room

Exterior Features

Foundation – Secondary Significant

- Maintain the concrete and stone pier foundation
- Reestablish the historic grade, especially on the east side, in order to provide for positive drainage away from the building. The corral area will have to be graded not only for drainage but to keep from undermining the piers on the north side.

Walls – Primary Significant

- Replace rotted sill logs in-kind on the east side of the building.
- Provide FPL treatment on the logs.
- Replace daubing in-kind as necessary in the areas of log replacement and missing areas.
- The log frame area also has a rotted base in the sill log and the base of the wood siding. The wood is weathered and worn and requires replacement in-kind in damaged areas and treated with an FPL treatment also.
- Move the material storage away from the walls on the east side.

Outhouse – Non-Contributing

- The collapsing outhouse should be stabilized as part of the historic scene. Straighten and rebuild the structure in-kind.

Windows – Primary Significant

- Restore wood windows by cleaning, repairing or replacing wood members as necessary, re-glazing, and finishing with a FPL treatment or paint as appropriate.

Doors – Primary Significant

- Maintain the existing doors and refinish as needed.
- Repair and finish doors that are weathered.

Roof – Primary Significant

- Maintain the existing roof and repair as needed on the east side where there is some minor roof damage.
- The tree next to the building should be trimmed as necessary to keep branches from falling or rubbing on the roof.

Interior Features

Walls – Secondary Significant

- Maintain the existing walls until a new use can be determined. The celotex walls will probably have to be replaced with sheetrock depending on the use.

Windows – Secondary Significant

- Maintain and refinish as necessary.

Doors – Secondary Significant

- Maintain and refinish as necessary

Floors – Secondary Significant

- Maintain and refinish as necessary

Ceiling – Secondary Significant

- Maintain and refinish as necessary

Electrical – Non-Contributing

- Provide new electrical service to the building and prepare a new electrical plan for the building depending on the use.

Mechanical – Non-Contributing

- Provide new water and sewer connections depending on the use of the building.
- Additional heating sources may be needed if the building is used year around. Electric baseboard may be the best heat mainly because of easy installation and less intrusion on the historic fabric. Another possible source would be a room unit heater such as a Rennai that can provide some ventilation also.

HS – 415 Chicken Coop

Exterior and Interior Features (Non-Contributing)

- Document the structure of the building.
- Reestablish historic grade to provide positive drainage away from the chicken coop.
- Reconstruct the collapsed roof.
- Stabilize the building by supporting the walls.

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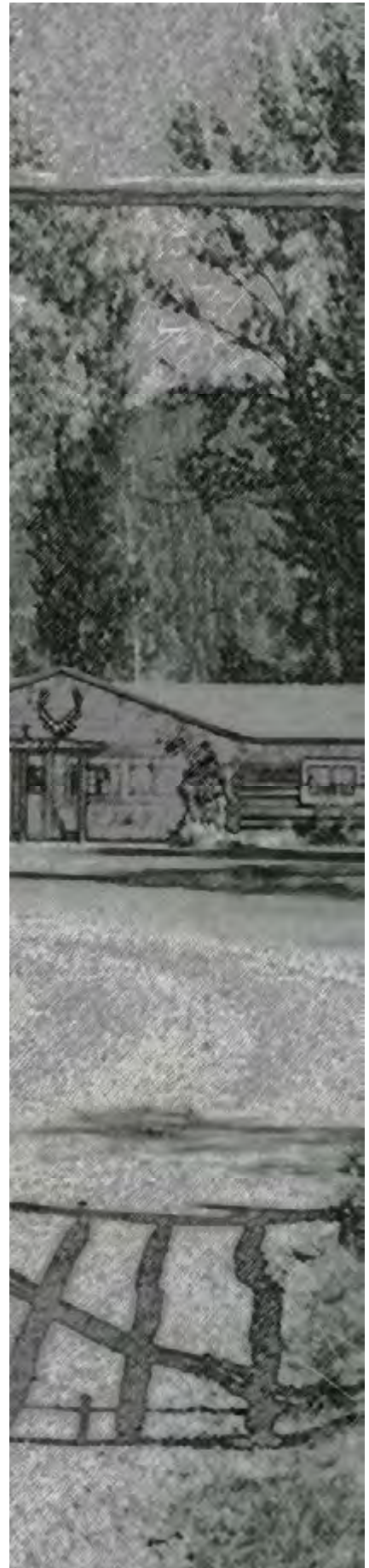
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- Figure 208. Looking east at the door and window on the west side of the building. They are in good condition with some weathering of the window sill and base of the door.
- Figure 209. Looking east at the wood frame board and batten addition on the back of the log volume. The wall is weathered and the bottom of the siding has rotted.
- Figure 210. Looking south at the open end of the shed-roof addition. A pole fence closes off the shed where tack was kept. There is some rot in the base of the floor and the posts of the fence. Most of the wood is very dry.
- Figure 211. Looking east along the back wall of the log Tack Room. Note the door that leads to the north room of the log volume.
- Figure 212. Looking east at the tack area in the shed. Most of these materials are weathered but in good condition.
- Figure 213. Looking west at a typical wood sliding window on the Tack Room. The window is in poor condition. The log walls are dry but the daubing appears to be generally in good condition.
- Figure 214. Looking northwest at the Tack Room. Note the high grade around the south and east sides of the building. The sill logs and some wall logs are rotted in this area.
- Figure 215. Looking east at the interior of the first room in the Tack Room. Note the wood stove. Most of the materials are in good condition.
- Figure 216. Looking north at the doorway to the north room in the log volume. Note the transition from concrete floors to a wood floor. There are water stains on the base of all of the woodwork.
- Figure 217. Looking east at the north room in the log volume. Note the Celotex walls and ceiling.
- Figure 218. HS-415, Chicken Coop, floor plan and elevations.
- Figure 219. Looking north at the front façade of the Chicken Coop. This log wall is in good condition although it is weathered and dry.
- Figure 220. Looking east at the end of the Chicken Coop. Note the collapsed roof causing the walls to fail also.
- Figure 221. Looking east at the interior of the collapsed building.
- Figure 222. Looking west at the wall of the Chicken Coop. There appears to be rot in all of the sill logs and upper parts of the walls which did support the roof.

4 LAZY F R A N C H
HISTORIC STRUCTURES REPORT



APPENDIX A
National Register of Historic Places Nomination



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: NOMINATION

PROPERTY NAME: 4 Lazy F Dude Ranch

MULTIPLE NAME: Grand Teton National Park MPS

STATE & COUNTY: WYOMING, Teton

DATE RECEIVED: 3/15/90 DATE OF PENDING LIST: 3/28/90
DATE OF 16TH DAY: 4/13/90 DATE OF 45TH DAY: 4/29/90
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 90000611

NOMINATOR: FEDERAL *NPS*

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: Y SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 4/23/90 DATE *CTS*

ABSTRACT/SUMMARY COMMENTS:

Constructed in 1927 as a dude ranch and summer home for the William
Frew family of Pittsburgh, the 4 Lazy F Dude Ranch is significant
as part of the dude ranching and tourism historic context in
Grand Teton National Park.

RECOM./CRITERIA Accept/A
REVIEWER Antoinette A. Roe
DISCIPLINE History
DATE 4/19/90

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

90000641

RECEIVED
MAR 15 1990

NOV 29 1989

NPS Form 10-900
(Rev. 8/86)
NPS/WHS Word Processor Format
(Approved 03/88)

NATIONAL REGISTER

OMB No. 1024-0018

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in Guidelines for Completing National Register Forms (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries. Use letter quality printers in 12 pitch. Use only 25% or greater cotton content bond paper.

1. Name of Property

historic name 4 Lazy F Dude Ranch
other names/site number N/A

2. Location

street & number N/A N/A not for publication
city, town Moose X vicinity
state Wyoming code WY county Teton code 039 zip code

3. Classification

Ownership of Property	Category of Property	No. of Resources within Property	
		contributing	noncontributing
<input type="checkbox"/> private	<input type="checkbox"/> building(s)		
<input type="checkbox"/> public-local	<input checked="" type="checkbox"/> district	<u>17</u>	<u>2</u> buildings
<input type="checkbox"/> public-State	<input type="checkbox"/> site	<u>0</u>	<u>0</u> sites
<input checked="" type="checkbox"/> public-Federal	<input type="checkbox"/> structure	<u>1</u>	<u>0</u> structures
	<input type="checkbox"/> object	<u>0</u>	<u>0</u> objects
		<u>18</u>	<u>2</u> Total

17 plus site map

Name of related multiple property listing:
Grand Teton National Park Historic

No. of contributing resources previously listed in the National Register 0

4. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria.

See continuation sheet.

Edna Benson Signature of certifying official 3/15/90 Date
National Park Service State or Federal agency or bureau

In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.

Thomas E. Marcea DSHPO Signature of commenting or other official 2/28/90 Date
Wyoming State Historic Preservation Office State or Federal agency or bureau

5. National Park Service Certification

I, hereby, certify that this property is:

entered in the National Register
 See continuation sheet

Carell Shull 4-23-90

determined eligible for the National Register. See continuation sheet

determined not eligible for the National Register.

removed from the National Register

other, (explain:)

Signature of the Keeper Date

6. Functions or Use

Historic Functions (enter categories from instructions) Current Functions (enter categories from instructions)

Domestic/hotel Domestic/hotel

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(Rev. 8/86)
NPS/WHS Word Processor Format
(Approved 03/88)

OMB No. 1024-0018

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number N/A Page 1

List of Contributing Resources at the 4 Lazy F Dude Ranch

The following buildings are considered contributing at the 4 Lazy F Dude Ranch:

399, 400, 401-02, 404, 406, 407, 408, 409, 410, 412, 413, 414, 415

The following structure is considered contributing at the 4 Lazy F Dude Ranch:

404A

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United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

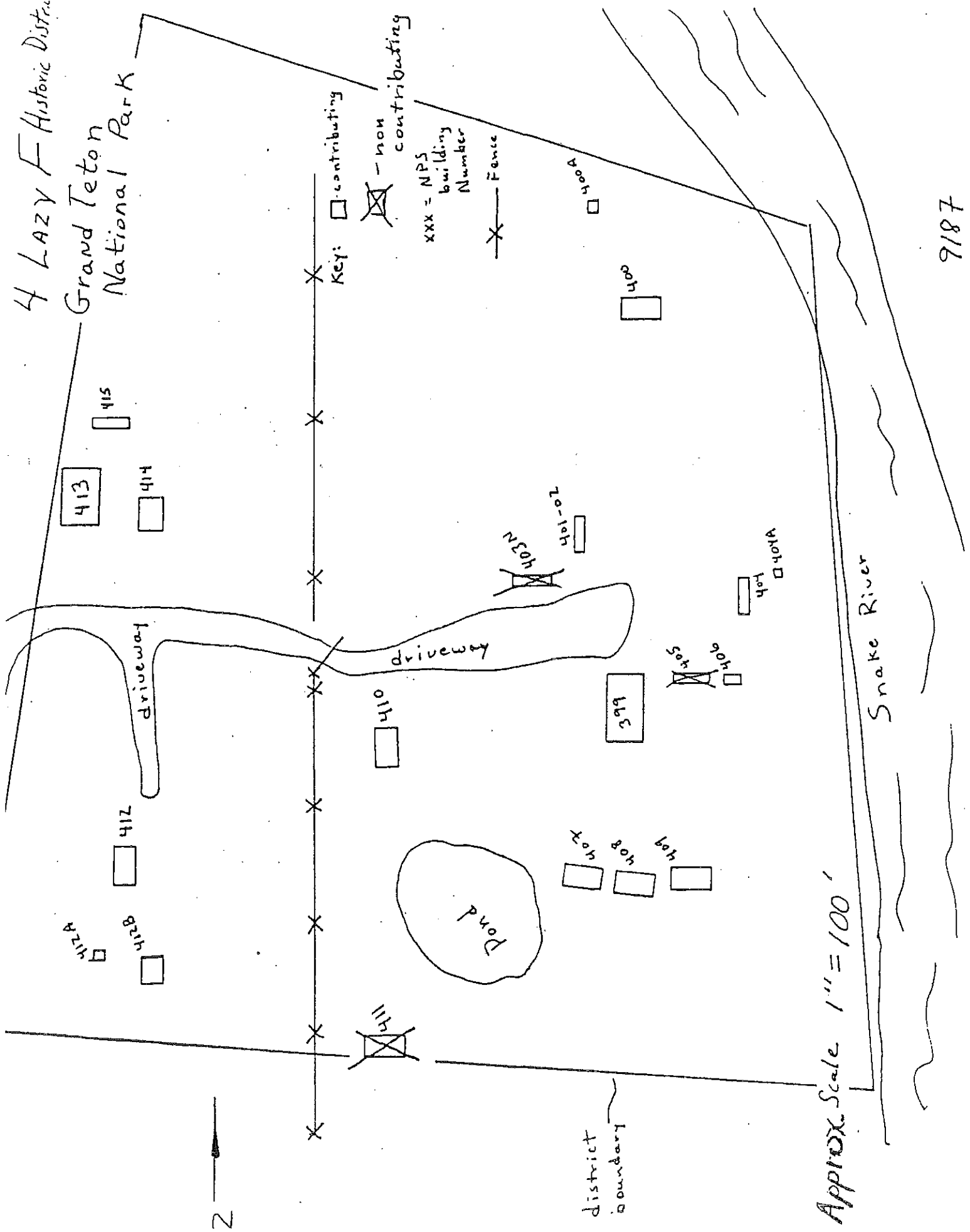
Section number N/A Page 2

Photograph List 4 Lazy F Dude Ranch

Photo Number	View	Direction (to)	Photographer
4LF-1	Lodge Front 3/4(399)	Northeast	Steven Mehls
4LF-2	Ice House Front 3/4(406)	Southeast	Steven Mehls
4LF-3	Cabin Front 3/4(400)	Southeast	Steven Mehls
4LF-4	Cabin Front 3/4(410)	North	Steven Mehls
4LF-5	Cabin Front 3/4(409)	Southwest	Steven Mehls
4LF-6	Barn Front 3/4(413)	Northwest	Steven Mehls
4LF-7	Caretaker House Front 3/4(412)	Southeast	Steven Mehls

Negatives on file at Grand Teton National Park

4 LAZY F Historic District
Grand Teton National Park



Key: contributing
 - non contributing
 xxx = NPS building Number
 —X— Fence

Approx. Scale 1" = 100'

Note:

List of Buildings, contributing and non-contributing does not agree between Section 3, Classification; Continuation sheet 1; and the map at the end of the National Register. Section 3 and the map generally agree.

For this reason THE BUILDINGS listed ON THE MAP are listed as contributing in this National Register and in the LCS notebooks.

Buildings:

399
400
400a
401-02
404
404a
406
407
408
409
410
412
412a
412b
413
414
415

Dawn Sunyak
2/9/98